



Swan and Canning Rivers Management Act 2006

PART 5

DETERMINATION OF DEVELOPMENT APPLICATION

FILE NUMBER : 2022/2103
APPLICANT : Perth Polo Club
LANDOWNER : City of Swan
LAND DESCRIPTION : Lot 234 (Reserve 261), Meadow Street, Guildford
DEVELOPMENT : Construction of new pavilion and associated works
VALID FORM 1 RECEIVED : 1 November 2022
DETERMINATION : **APPROVAL WITH CONDITIONS**

The application to commence development in accordance with the information received on 1 November 2022, followed by amended plans received on 13 May 2024, is APPROVED subject to the following conditions:

1. Approval to implement this decision is valid for two (2) years from the date of this approval. If substantial on-site works have not commenced within this period, a new approval will be required before commencing or completing the development.
2. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works (**Advice Note 1**).
3. All building works to be carried out under this development approval are required to be contained within the boundaries of the subject lot.
4. All works are to be carried out in accordance with a Construction Environmental Management Plan as approved, prior to the commencement of works, by the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1, 2 and 3**).
5. Prior to the commencement of works, the applicant shall prepare a Nutrient and Irrigation Management Plan to the satisfaction of the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1, 2 and 4**).
6. Prior to the commencement of use of the pavilion, the applicant shall prepare a Rehabilitation Management Plan to the satisfaction of the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1, 2 and 5**).
7. Prior to the commencement of works, the applicant shall submit the final design and drawings to the satisfaction of the Department of Biodiversity, Conservation and Attractions on advice from the City of Swan (**Advice Notes 1, 2 and 6**).
8. Prior to the commencement of use of the pavilion, the applicant shall submit a Traffic and Parking Management Plan to the satisfaction of the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1, 2 and 7**).
9. Prior to the commencement of use of the pavilion, the applicant shall submit a Landscape Plan to the satisfaction of the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1, 2 and 8**).

10. Prior to the commencement of use of the pavilion, the development shall be connected to the reticulated sewerage system.
11. All septic sewer systems, including all tanks and pipes and associated drainage systems (soak wells or leach drains), are to be decommissioned in accordance with the Health (Treatment of Sewerage and Disposal of Effluent and Liquid Waste) Regulations 1974, removed, filled with clean sand, and compacted.
12. Prior to the commencement of works, all significant vegetation in and adjacent to the authorised work site shall be identified and protected by installation of Tree Protection Zones in accordance with Australian Standard AS 4970-2009 - Protection of trees on development site.
13. Prior to the commencement of use of the pavilion, the northern-most wash-down pad and associated pipework is to be removed and the area remediated.
14. Prior to the commencement of use of the pavilion, a Bushfire Evacuation Plan is to be submitted to and approved by the Department of Biodiversity, Conservation and Attractions on advice of the City of Swan (**Advice Notes 1, 2 and 9**).
15. At all times maintain unrestricted public access for pedestrians to Kings Meadow and polo grounds (excluding the pavilion).
16. All fill used is to be clean as defined by the Department of Water and Environmental Regulation and geotechnically suitable and otherwise fit for purpose, unless agreed in writing by the Department of Biodiversity, Conservation and Attractions.
17. The pavilion building must incorporate noise insulation measures in accordance with the requirements of State Planning Policy 5.1 – Land use planning in the vicinity of Perth Airport and Australian Standard 2021 – Building Site Acceptability Based on ANEF Zones.
18. Refuse bin areas adequate to service the development must be provided to the satisfaction of the City of Swan prior to commencement of use.
19. External lighting shall comply with the requirements of AS/NZS4282:2023 – Control of the Obtrusive Effects of Outdoor Lighting.
20. All contractors are to be made aware of the potential for archaeological material to be uncovered during excavation works, and a clear procedure is to be in place to ensure that any archaeological material is dealt with appropriately.
21. Within seven (7) days of the completion of construction of the pavilion, the applicant shall remove all waste materials, equipment, machinery and any temporary structures and ensure the site is cleaned-up.

ADVICE NOTES

1. Notifications and submission of documents required as a condition of this approval can be emailed to rivers.planning@dbca.wa.gov.au.
2. To allow sufficient time for the Department of Biodiversity, Conservation and Attractions to consider and approve the plans and details required under Conditions 4 - 9, the documents shall be submitted at least 30 days prior to the commencement of works or use.
3. Regarding **Condition 4**, the Construction Environmental Management Plan (CEMP) should describe how the authorised works will be managed to minimise potential environmental impacts. Guidance for preparation of a CEMP is provided in [DBCA](#)

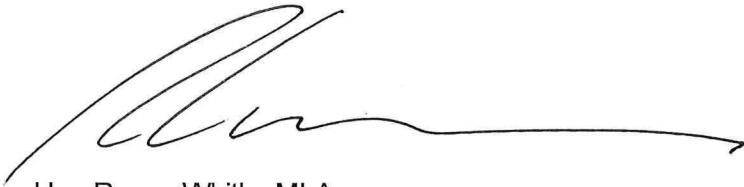
[Guidance Note 6 – Construction Environmental Management Plans](#) (the PDF will download automatically) and <https://bit.ly/SCRMAPolicies>.

4. Regarding **Condition 5**, the Nutrient and Irrigation Management Plan shall describe how the upkeep of turf and control of horse waste will be managed to minimise potential environmental impacts and shall address:
 - a. All solid waste including manure, contaminated straw, and excess grass and/or feed generated on the property shall be collected daily and after polo events from the property and stored on a low permeability surface with a fly-proof and waterproof cover to protect from stormwater infiltration, prior to disposal off-site;
 - b. Where composted manure is applied on turfed areas, it shall be in accordance with the application rates and procedures set out in section 3.5.2 Manure and Fertiliser Application in the Department of Water's *Water Quality Protection Guidelines: Environmental Management Guidelines for Horse Facilities and Activities* (2002);
 - c. Irrigation system should be managed to avoid excess irrigation that might lead to the leaching of nutrients from the turfed grass areas.
 - d. Fertilisers should be avoided in summer or winter. Summer fertilising encourages over-use of water and turf may grow excessively while fertiliser applied during winter will be washed into stormwater drains or leached into groundwater.
 - e. Regular soil testing is conducted before applying fertilisers to determine the nutrient requirements of the grass.
5. Regarding **Condition 6**, the Rehabilitation Management Plan shall address the provision and rehabilitation of a 50-metre foreshore to the Helena River and rehabilitation to the ephemeral drain to provide for adequate riparian vegetation. The Plan shall include:
 - a. plans/drawings/shape files showing the location, planting densities and species composition proposed for the 50-metre buffer along the Helena River and ephemeral drain;
 - b. a schedule of works;
 - c. weed control, including any chemicals to be used and its management within a water sensitive environment;
 - d. provision of appropriate fencing to control public access and prevent vehicular access; and
 - e. ongoing monitoring and maintenance requirements.
6. Regarding **Condition 7**, the final design and drawings shall include, unless otherwise agreed in writing:
 - a. detailed engineering drawings including details of stormwater management;
 - b. final design specifications of the structure inclusive of carparking, paths and realignment of the access track;
 - c. location, dimensions and distance of wash-down pads from the ephemeral drain;
 - d. screening of any machinery and bins;
 - e. details of external colours, building materials and finishes for the proposed building;
 - f. demonstrate that the selected materials and colour schemes are of low reflective standard and are sympathetic to the landscape setting, with minimal impact on the amenity of the area;
 - g. the proposed verandah to the front of the Pavilion building should be increased in depth;
 - h. the proposed balustrade to the verandah should be removed;
 - i. the proposed shade sails over the verandah should be replaced with a permanent roof;

- j. the steps to the proposed verandah are aligned with the proposed entry doors; and
 - k. skylights to be installed into the roof to provide natural lighting to the internal hallway.
- Should the Engineering Detailed Design be amended, the applicant must submit those drawings to the Department of Biodiversity, Conservation and Attractions for consideration. Major changes may require amendment to this approval or a new application to be lodged.
7. Regarding **Condition 8**, the Traffic and Parking Management Plan shall describe how traffic will be managed during polo and community events to ensure vehicle parking is restricted to designated areas. The Plan should include:
 - a. parking barriers to restrict vehicle access to designated parking areas only;
 - b. wayfinding and signage directing vehicles (one-way around the access track);
 - c. delineation of parking areas for polo events and community events; and
 - d. responsibilities of person(s) identified for implementation of the Plan and how the Plan will be implemented for community events.
 8. Regarding **Condition 9**, the Landscape Plan should include:
 - a. Location and species of replacement trees. The applicant is required to plant no less than three (3) replacement trees for each tree removed. The replacement trees must be locally native and suited to the soil type of the area. Replacement trees are to be planted no later than the winter/spring planting season of 2025;
 - b. Planting of local native vegetation to the west of the wash-down pads to manage excess nutrients washing into the drain. It is recommended that the biofilters are designed in accordance with the: *Adoption Guidelines for Stormwater Biofiltration Systems* (Payne et al. 2015) and the *Vegetation Guidelines for Stormwater Biofilters in the South-West of Western Australia* (Monash University 2014); and
 - c. Landscaping surrounding the pavilion.
 9. Regarding **Condition 14**, the Bushfire Evacuation Plan must be prepared by a Level 3 accredited Bushfire Planning Practitioner and in accordance with State Planning Policy 3.7 - Planning in Bushfire Prone Areas.
 10. The noise generated by activities on-site, including machinery motors or vehicles is not to exceed the levels as set out under the Environmental Protection (Noise) Regulations 1997. Noisy construction work is not permitted outside the period 7.00am to 7.00 pm Monday to Saturday and at any time on Sundays and Public Holidays unless a Noise Management Plan for the construction site has been approved in writing by the City of Swan.
 11. Where the development is to be used as a 'Public Building', as defined by the *Health Act 1911* the premises must first comply with the Health (Public Building) Regulations 1992. A 'Certificate of approval' detailing the approved use and maximum occupancy must be obtained from the City of Swan's Health Service prior to the use of the premises as a public building.
 12. New food premises must submit to Health Services either a New Food Business Registration Form or in the case of Charities and Community Groups a Notification Form for an Exempt Food Business prior to any food being prepared or sold on the premises.
 13. Mosquito and midge control is to be incorporated into the storm water system design with consideration given to water retention times and any compensating basin design. Guidance can be sought from the Guidance Statement for Management of Mosquitoes by Land Developers No. 40 – June 2000 published by the Environmental Protection Authority of Western Australia.
 14. The carrying on of the development must not cause a dust nuisance to neighbours. Where appropriate such measures as installation of sprinklers, use of water tanks, mulching or other land management systems should be installed or implemented to prevent or control dust nuisance, and such measures shall be installed or implemented

within the time and in the manner directed by the City of Swan if it is considered that a dust nuisance exists.

15. It is recommended that the applicant contact the Department of Planning, Lands and Heritage to seek advice relating to the authorised activity and the Aboriginal heritage values of the area, to ensure that the authorised works do not breach the *Aboriginal Heritage Act 1972*.
16. The proposed works are located in a moderate to low risk Acid Sulphate Soils risk area. The Acid Sulphate Soils Guideline Series for guidance on the identification, assessment and management of acid sulphate soils in Western Australia is available from the Department of Water and Environmental Regulation at: www.dwer.wa.gov.au. If Acid Sulphate Soils are exposed during the works, the Department of Water and Environmental Regulation should be contacted for further advice.



Hon Reece Whitby MLA
MINISTER FOR ENVIRONMENT

Date: 30/10/24

DEPARTMENT OF BIODIVERSITY, CONSERVATION AND ATTRACTIONS REPORT

PROPOSAL	Construction of new pavilion and associated works
LOCATION	Lot 234 (Reserve 261), Meadow Street, Guildford
COST	\$450,000
APPLICANT	Perth Polo Club
LANDOWNER	City of Swan
LOCAL GOVERNMENT	City of Swan
MRS CLASSIFICATION	Parks and Recreation Reserve
DECISION TYPE	Part 5, <i>Swan and Canning Rivers Management Act 2006</i> , Ministerial Determination
ATTACHMENTS	1a. Location map (1 page) 1b. Pavilion Design Plans (3 pages) 1c. Site plan (1 page) 1d. Proposed master plan (1 page) 1e. Referral responses <ul style="list-style-type: none"> • City of Swan (3 pages) • Department of Water and Environmental Regulation (2 pages) • Department of Planning, Lands and Heritage (Aboriginal Heritage Conservation) (2 pages) • Department of Planning, Lands and Heritage (Historic Heritage Conservation) (2 pages)
RECOMMENDATION	APPROVAL WITH CONDITIONS

1. INTRODUCTION

- 1.1 The Department of Biodiversity, Conservation and Attractions (DBCA) has received an application from the Perth Polo Club (the Club), proposing to construct a new pavilion facility at Kings Meadow, Lot 234 (Reserve 261) Meadow Street, Guildford (**Figure 1, Attachments 1a and 1b**). The proposal includes demolition of existing buildings, removal of a shipping container, connection to reticulated sewerage and the removal of six trees (**Attachment 1c**). In addition, the proposal includes the provision of a master plan for Kings Meadow (**Attachment 1d**). The master plan proposes to realign the access track to allow for a 50-metre foreshore buffer to the Helena River, revegetate the 50-metre foreshore buffer and ephemeral drain and relocate horse tie-up posts to allow for the track realignment.
- 1.2 The subject land is contained within the Parks and Recreation reservation under the Metropolitan Region Scheme.
- 1.3 The proposed development is to occur on land entirely within the Swan Canning development control area (DCA) and therefore requires an approval from the Minister for Environment in accordance with Part 5 of the *Swan and Canning Rivers Management Act 2006* (SCRM Act).
- 1.4 Under delegation from the Director General, DBCA has prepared this report in accordance with section 76 of the SCRM Act.

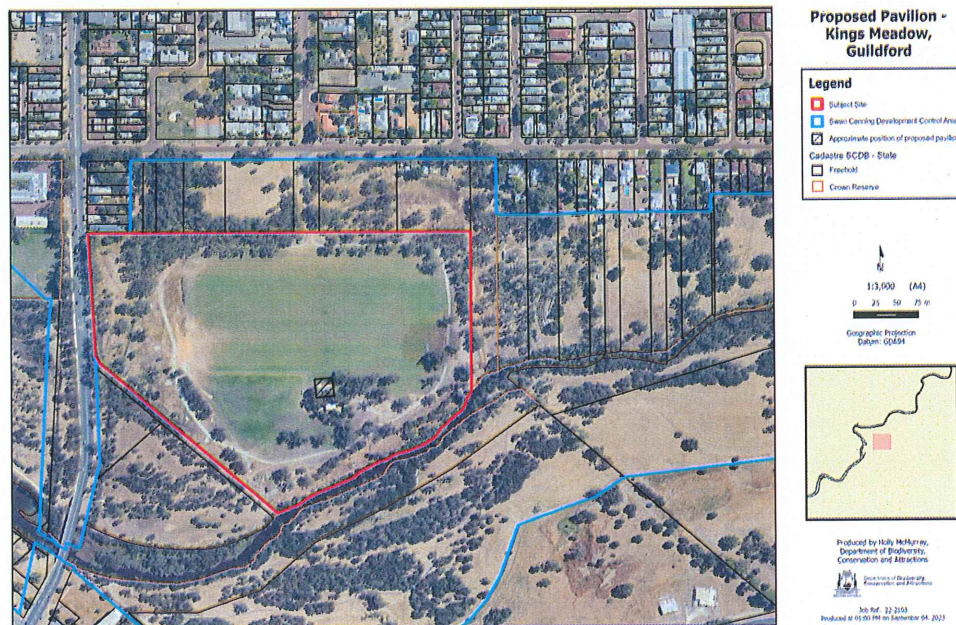


Figure 1: Locality plan depicting the proposed pavilion works area at Kings Meadow, Guildford

2. CONSULTATION

- 2.1 In accordance with section 73 of the SCRM Act, the application was advertised on DBCA's website for 42 days commencing on 1 November 2022.
- 2.2 Advice from referral agencies is contained at **Attachment 1e**.

City of Swan

- 2.3 The application was formally referred to the City of Swan (the City) for advice.
- 2.4 The City's Design Review Panel (DRP) considered the proposal on 19 September 2023 and provided technical design advice to the City. The City subsequently did not support the proposal, as the design at that stage was incomplete and further amendments were required. Amended plans were reviewed at a subsequent DRP meeting on 30 April 2024. The DRP broadly supported the development and suggested further design improvements. The City provided updated referral advice, incorporating design recommendations from the DRP.
- 2.5 The City advises that it supports the proposed works subject to conditions and advice relating to final design of the pavilion; bushfire management; parking management; stormwater management; waste management; lighting design; Aboriginal heritage considerations; and noise regulations.

Department of Water and Environmental Regulation (Floodplain management)

- 2.6 The Department of Water and Environmental Regulation (DWER) (floodplain management) advises that it has no objections to the proposed pavilion at the location of the existing clubrooms.
- 2.7 Further it advises no objections to the tank and fill for the sewerage system as the location is within the shadow of the existing building.

Department of Planning, Lands and Heritage (Aboriginal Heritage Conservation)

- 2.8 The Department of Planning, Lands and Heritage (DPLH) (Aboriginal Heritage Conservation) confirms that the area, as depicted in the development application,

intersects with registered Aboriginal Heritage sites ID 3609 (The Meadows) and ID 2758 (Helena River), as well as the public, but not actual (restricted) boundary of ID 3840 (Bennett Brook: Camp Area).

- 2.9 DPLH advises that the proposed works are likely to involve significant ground disturbance that may impact ID 3609 (The Meadows) and ID 3758 (Helena River).

Department of Planning, Lands and Heritage (Historic Heritage Conservation)

- 2.10 DPLH (Historic Heritage Conservation) advises that the subject site resides within the *Guildford Historic Town*.
- 2.11 DPLH advises the development will have no discernible benefit or impact on the cultural heritage significance of *Guildford Historic Town* and supports the proposal.

Public Submissions

- 2.12 One public submission was received. The matters raised within the submission are summarised below with the response to those concerns.

Submission	Response
Development situated within the floodway and flood fringe.	The potential risks of the proposed development within the floodway were assessed by DWER which had no objections to the proposal. It is noted that the proposed pavilion is to be built on the existing raised compacted earth pad and will not result in a significant additional obstruction to flow or change the existing flood regime.
The management of grass clippings particularly in the context of bushfire risk.	These considerations are addressed as a condition of approval through the submission of a Nutrient and Irrigation Management Plan.
Maintenance of public access to Kings Meadow.	It is recommended that, as a condition of approval, public access is maintained to ensure the polo grounds and Kings Meadow can continue to be utilised by the public for recreation.
Provision for appropriate landscaping, a crime-safe building, "all-ability" access, waste management and screening of machinery and equipment.	The development is required to comply with the Building Code of Australia particularly in the context of provision for universal access. In addition, operational and amenity considerations such as waste management and screening of machinery and equipment are addressed as conditions of approval.
The proposal should have regard to the Guildford Heritage Area Local Planning Policy (LPP).	Consideration has been given to the proposal in the context of the impact of the proposal on the heritage values of Guildford. The proposal does not contradict the policy or detract from the heritage value of the locality.
Potential impacts to native fauna (magpies).	The revised plans propose substantial rehabilitation of the site with long term rehabilitation of the ephemeral drain and 50-metre buffer to the Helena River. The masterplan will facilitate rehabilitation of the site to provide additional habitat for native fauna.
Objection to the proposed use of lots outside the Club's lease area.	The revised plans have since removed these lots as options for inclusion in the lease.

3. PUBLIC CONSULTATION – SUBMISSIONS ON DRAFT REPORT

- 3.1 In accordance with the requirements of Section 75 of the SCRM Act, a copy of the draft report and proposed recommendation was provided to the applicant and relevant stakeholders being the City of Swan, DPLH and DWER. A copy was also published on the DBCA website for a period of two weeks between 1 August and 19 August 2024 with an invitation for public submissions.
- 3.2 No submissions were received.

4. RELEVANT POLICIES AND PLANS

- State Planning Policy 2.10 – Swan-Canning River System (SPP 2.10)
- State Planning Policy 3.7 – Planning in Bushfires Prone Areas (SPP 3.7)
- Corporate Policy Statement No. 42 – Planning for Land Use, Development and Permitting Affecting the Swan Canning Development Control Area (Policy 42)
- Corporate Policy Statement No. 46 – Planning for Commercial Operations in the Swan Canning Development Control Area (Policy 46)
- Corporate Policy Statement No. 48 – Planning for Development Setback Requirements Affecting the Swan Canning Development Control Area (Policy 48)
- Corporate Policy Statement No. 49 – Planning for Stormwater Management Affecting the Swan Canning Development Control Area (Policy 49)
- Corporate Policy Statement No. 50 – Planning for Dewatering Affecting the Swan Canning Development Control Area (Policy 50)
- Corporate Policy Statement No. 51 – Planning for Wastewater Management Affecting the Swan Canning Development Control Area (Policy 51)
- Water Quality Protection Guideline No. 13 – Environmental Guidelines for Horse Facilities and Activities

5. ENVIRONMENTAL AND PLANNING CONSIDERATIONS

- Environmental protection
- Acid sulfate soils
- Recreation opportunities and public access
- Stormwater management
- Wastewater management
- Ecological health
- Amenity and landscape character
- Flood prone land
- Aboriginal and non Aboriginal heritage
- Bushfire management

6. BACKGROUND

- 6.1 The Club is located within the Helena River foreshore at Kings Meadow, Guildford. The existing pavilion is located approximately 100 metres north of the Helena River and 300 metres east of an ephemeral drain. The subject lot is reserved 'Parks and Recreation' under the Metropolitan Region Scheme. The majority of the subject lot consists of scattered native and non-native vegetation with large, turfed polo fields.
- 6.2 The Club was first incorporated in 1896, making it one of Western Australia's oldest sporting organisations. The Club has leased Kings Meadow from the City since the 1970s. In 2018, the Club was re-issued with a 10-year lease from the City and it constructed buildings and six concrete horse wash-down areas.

- 6.3 The Club currently utilises the pavilion and polo grounds from November to April with five polo events and four show jumping events yearly. Each event can attract approximately 200 horses. The Club holds practice events on a weekly basis during the season. It is estimated that the Club uses the pavilion and polo grounds a total of 50 days in a year.
- 6.4 The design plans were initially submitted on 15 September 2022. The preliminary design of the pavilion was subject to the City's Development Review Panel (DRP). The Club has since submitted revised plans due to changes in funding opportunities.
- 6.5 The revised plans include the following works (**Figure 2** and **Figure 3**):
- Demolition and removal of the existing pavilion and sea containers; and
 - Construction of a new pavilion.
- 6.6 The new pavilion (**Figure 2** and **Figure 3**) will consist of a large area for spectators, toilet and changeroom facilities, a shop/office space and a kitchen. The Club proposes to hire out the new pavilion for community events and occasional weddings.



Figure 2: 3D render of proposed pavilion at Kings Meadow, Guildford.

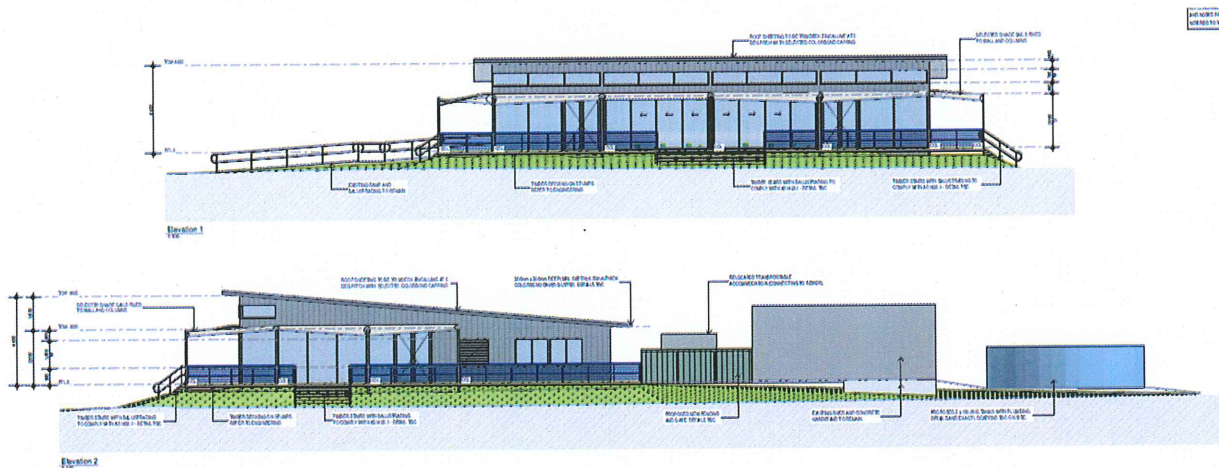


Figure 3: Elevations of proposed pavilion at Kings Meadow depicting building elements

demolition and construction methodology, protection of water quality, machinery and equipment management (including refuelling), site access and management, public access and safety, waste management, vegetation protection, spill response and foreshore protection.

- 7.4 The redevelopment site is listed as having a moderate to low risk of encountering acid sulphate soils (ASS) within three metres of the natural soil surface. It is expected that connection to the sewer pump will require minimal excavation and therefore the risk of encountering ASS is low. It is recommended that the management of ASS is included in the CEMP to mitigate any potential environmental effects during the works.
- 7.5 The proposed redevelopment envelope is located inside the one per cent Annual Exceedance Probability (1% AEP) floodway. Potential risks associated with the pavilion situated within the floodway were assessed by DWER which had no objections to the proposal. It is noted that the proposed pavilion is to be situated on the existing raised ground level.

Recreation opportunities and public access

- 7.6 Policy 42 seeks to ensure that provisions are made for public access and enjoyment of the Swan Canning River system including its foreshores in a manner that is consistent with the multiple use of the DCA and the preservation of the values of the land itself.
- 7.7 Policy 45 and SPP 2.10 require the proposed development to enhance the public's access to and enjoyment of the river.
- 7.8 Whilst there are no paths in close enough proximity to the works to be impacted, the foreshore area that abuts the waters of the Helena River is regularly used by the public. To ensure works do not adversely impact public access and safety along the foreshore, it is recommended these issues be addressed as part of the conditioned CEMP.
- 7.9 Kings Meadow is a popular location for public passive recreation. The redevelopment of the pavilion should not impede public access and/or recreation opportunities at Kings Meadow. A condition of approval is recommended to ensure continued unfettered public access to the polo grounds and Kings Meadow, excluding the pavilion.

Stormwater management and quality

- 7.10 Policy 49 generally requires stormwater runoff from constructed impervious surfaces generated by minor rainfall events (i.e. first 15mm) to be managed on site, or if the local government consents, connected to the local drainage system.
- 7.11 While no details regarding stormwater management for the proposed pavilion have been provided, the Club has advised that two new rainwater tanks are to be installed to the south-east of the proposed pavilion.
- 7.12 Additional impervious surfaces will be constructed for the new pavilion. It is recommended that the applicant submit final design and drawings with detail of stormwater management demonstrating how stormwater run-off from impervious surfaces generated by small rainfall events (i.e. the first 15mm of rainfall) is being retained and/or detained at-source.

Wastewater management

- 7.13 Policy 51 indicates that the safe disposal of wastewater is necessary for the protection of public health and to minimise contributions of high nutrient loads in the Swan and Canning rivers. Where a reticulated sewerage scheme is provided, all development in the vicinity of the river system should be connected to the reticulated sewerage system.
- 7.14 The pavilion is currently serviced by a septic tank and leach drains, located to the east of the existing pavilion. Septic systems are generally designed to treat faecal matter and

pathogens, however the effluent that is discharged to the environment is usually still high in nutrients, which poses a risk to the Helena River.

- 7.15 The Club was advised that any redevelopment and upgrades to the pavilion, including an intensification of use at the site, would require connection to reticulated sewerage. The Club has been issued a permit to install a sewer pump and associated pipework to the south of the pavilion. It is recommended that a condition of approval will require connection of the new pavilion to reticulated sewerage and the septic system, leach drains and associated pipework will be removed.

Ecological health

- 7.16 Policy 42 requires the protection and enhancement of the Swan Canning River system's ecological health. This includes maintaining tributary and stream habitats and their natural drainage functions, reducing nutrient enriched and polluted water inputs from adjacent land uses, minimising erosion of stream banks and protecting wetland ecosystems and associated wildlife habitats. The Policy requires the promotion of the maintenance and restoration of natural vegetation and encourages proponents to retain existing native vegetation as a means of protecting linkages and natural vegetation corridors.
- 7.17 The Club fertilises the turfed polo grounds on a scheduled basis. Phosphorous is applied twice yearly at a rate of 125 kilograms per hectare. Nitrogen is applied four times a year at a rate of 50 kilograms per hectare. The current application of fertiliser is below the total recommended Nitrogen and Phosphorous loads to protect water quality as described in the *Water Quality Protection Guideline No. 13 – Environmental Guidelines for Horse Facilities and Activities*.
- 7.18 The current frequency and quantity of fertiliser application has the potential for excess amounts to wash into nearby water bodies. There is also potential for excess amounts of fertiliser to leach into the groundwater.
- 7.19 Horse manure is currently managed by mowing it back into the turf. The excess nutrients have the potential to leach into groundwater or into nearby waterbodies, impacting on water quality.
- 7.20 It is recommended that a condition of approval require the submission of a Nutrient and Irrigation Management Plan detailing management of fertiliser, horse manure and location of horse wash-down pads as well as phosphorous and nitrogen monitoring.
- 7.21 Policy 42 seeks to ensure the maintenance and restoration of natural revegetation and states that any vegetation removed within the DCA will likely be required to be replanted at a minimum ratio of three to one with appropriate local native species.
- 7.22 The proposed pavilion and track realignment will require the removal of six trees and the pruning of one. The Club is aware of the requirement to replant any trees removed at a ratio of three to one. The removal of six trees is deemed necessary to allow for the realignment of the access track outside the 50-metre foreshore buffer and for the construction of the new pavilion.
- 7.23 The Club installed six horse wash-down concrete pads to cool down horses. Five of the wash-down pads are within 50 metres of the ephemeral drain and pose potential risks of degrading ground and surface water quality. The northern most wash-down pad is approximately 10 metres from the drain and will no longer be utilised due to the high-risk to water quality. A condition of approval is recommended to ensure that prior to the commencement of use of the pavilion, the northern-most wash-down pad is removed.
- 7.24 A Landscape Plan is recommended as a condition of approval detailing the replacement trees' location and species, planting of high nutrient-uptake vegetation to the west of the

wash-down pads to manage excess nutrients washing into the drain, tree protection zones around existing trees and landscaping surrounding the pavilion.

- 7.25 The submitted plans include the provision of a master plan for Kings Meadow. The master plan is to be project managed by the Club and delivered by various community groups in collaboration with the Club. The master plan is to include rehabilitation of Kings Meadow through revegetation, weed control, realignment of the access track and relocation of horse tie-up areas.
- 7.26 Revegetation is proposed for the 50-metre buffer to the Helena River and the ephemeral drain. The drain runs north-south through the west of the subject site draining into a Resource Enhancement wetland (UFI 8844) and the Helena River. Although modified and degraded, the drain and wetland support substantial ecological attributes and functions. Unlawful filling of the drain was observed on past site inspections. It is expected that rehabilitation of this area will be undertaken.
- 7.27 A Rehabilitation Management Plan (RMP) is recommended as a condition of approval to ensure commitment from the Club to revegetate the 50-metre Helena River foreshore buffer and ephemeral drain. The RMP is to include fencing of rehabilitation areas, vegetation species selection, weed control, and monitoring and maintenance.

Amenity and landscape character

- 7.28 Policy 42 states that proposals should enhance and protect the character and landscape setting of the Swan Canning River system. Typically, proposals should protect tree lines and not dominate or overshadow public areas and views. Consideration should also be made, where appropriate, to enhance significant landmarks, views and vistas.
- 7.29 Additionally, Policy 42 states that the design, materials and colour scheme of developments adjacent to the river and foreshores should complement and protect the character and landscape setting of the river.
- 7.30 The proposed pavilion is to be constructed of zincalume roof sheeting and grey Colorbond cladding on steel girts with a verandah wrapping the northern portion of the building. A timber deck is proposed to extend out from the existing raised earth pad on the northern elevation for views of the polo ground. The balustrade on the edge of the deck extends one metre high and is visually permeable.
- 7.31 The proposed pavilion is modest in bulk and scale and is not expected to dominate Kings Meadow. The proposed pavilion is to be constructed on the existing raised earth mound 100 metres from the Helena River and will not significantly alter the landscape setting of the Swan Canning River system.
- 7.32 It can be ensured through a condition of approval that details of the external colours and finishes are provided to DBCA before works commence, to mitigate any adverse impact on visual amenity.

Heritage

- 7.33 The City's Guildford Mandoon Heritage Area Local Planning Policy (LPP) Character Statements, particularly the Helena Street 'South' character, encompasses Kings Meadow and is characterised by contributory buildings primarily from the Gold Boom/Federation Era. Although the LPP is primarily focused on residential lots, Kings Meadow is a contributing element to the streetscape character and heritage of the area.
- 7.34 It is noted that neither Kings Meadow nor the existing pavilion are listed on the State Register of Heritage Places. DPLH advises the development will have no discernible benefit or impact on the cultural heritage significance of *Guildford Historic Town*.
- 7.35 The redevelopment site intersects with the Aboriginal Heritage sites ID 3609 (The Meadows) and ID 3758 (Helena River), as well as the public, but not actual (restricted)

boundary of ID 3840 (Bennett Brooke: Camp Area). DPLH (Aboriginal Heritage Conservation) advised that the Club will need to gain approval under Section 18 of the *Aboriginal Heritage Act 1972*.

Car Parking

- 7.36 Policy 45 requires car park applications within the DCA to demonstrate that they are necessary, and their size and scale is appropriate for the location. Additionally, Policy 45 requires carparks within the DCA to incorporate water sensitive urban design.
- 7.37 The current parking is informal with vehicles and trailers parking wherever possible. The plans submitted by the Club indicate the option for a formal car park to be constructed on the southern side of the new pavilion. The proposed car park is to be constructed from a crushed limestone permeable material. The number of parking bays and dimensions of the carpark have not been supplied by the Club. A condition of approval is to require the final drawings of the carpark including the dimensions and number of bays.
- 7.38 Parking along the outer edge of the access track is not currently restricted and poses potential risks for erosion, damage to vegetation and the waterway. The majority of vehicle and trailer parking for polo and community events is to be restricted via fencing to managed areas of informal, grassed parking. A Parking and Traffic Management Plan is recommended as a condition of approval to ensure vehicle movement and parking is managed to minimise potential environmental impacts and encroachment of vehicles into rehabilitation areas. The Plan is to include identification of management responsibilities and traffic management for events.

Bushfire Management

- 7.39 SPP 3.7 requires proposals within Bushfire Prone Areas (BPA) to address bushfire risks. The proposed pavilion is located within a BPA and will be required to address bushfire risk through the implementation of a bushfire evacuation plan, which is recommended as a condition of approval.

8. SWAN RIVER TRUST

- 8.1 In accordance with section 75(3A) of the SCRM Act, the Swan River Trust considered DBCA's draft report at its meeting on 19 September 2023. The Trust recommended minor changes including referral to the Historical Heritage Conservation unit at DPLH, and the consideration of bushfire risk. Subject to these steps, and potential changes, the Swan River Trust resolved to advise the Director General of DBCA that it recommends the application be approved subject to the conditions outlined in DBCA's draft report.

9. CONCLUSION

- 9.1 Policy 46 states that commercial facilities should be planned, designed, constructed and managed to enhance the community's use and enjoyment of the Swan Canning river system.
- 9.2 The proposal seeks to upgrade the existing pavilion at Kings Meadow. It is the intention of this proposal to make the pavilion visually more appealing and accessible to the general public by the addition of a function space. In this regard it is considered that the proposal will improve the amenity of the locality. It is anticipated that the proposal, through the imposition of conditions and effective management of potential environmental issues, will not have any adverse impact on the foreshore area or DCA. The proposal is therefore considered acceptable.
- 9.3 For these reasons, the proposal is recommended for approval, subject to conditions and advice.

10. RECOMMENDATION – APPROVAL WITH CONDITIONS

That the Director General of DBCA advises the Minister for Environment that the proposal at Lot 234 (Reserve 261), Meadow Street, Guildford (**Attachment 1**), as described in the application received on 15 September 2022, and amended plans received on 13 May 2024, be approved, subject to the following:

CONDITIONS

1. Approval to implement this decision is valid for two (2) years from the date of this approval. If substantial on-site works have not commenced within this period, a new approval will be required before commencing or completing the development.
2. The Department of Biodiversity, Conservation and Attractions is to be notified in writing not less than seven (7) days prior to the commencement of works (**Advice Note 1**).
3. All building works to be carried out under this development approval are required to be contained within the boundaries of the subject lot.
4. All works are to be carried out in accordance with a Construction Environmental Management Plan as approved, prior to the commencement of works, by the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1, 2 and 3**).
5. Prior to the commencement of works, the applicant shall prepare a Nutrient and Irrigation Management Plan to the satisfaction of the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1, 2 and 4**).
6. Prior to the commencement of use of the pavilion, the applicant shall prepare a Rehabilitation Management Plan to the satisfaction of the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1, 2 and 5**).
7. Prior to the commencement of works, the applicant shall submit the final design and drawings to the satisfaction of the Department of Biodiversity, Conservation and Attractions on advice from the City of Swan (**Advice Notes 1, 2 and 6**).
8. Prior to the commencement of use of the pavilion, the applicant shall submit a Traffic and Parking Management Plan to the satisfaction of the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1, 2 and 7**).
9. Prior to the commencement of use of the pavilion, the applicant shall submit a Landscape Plan to the satisfaction of the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1, 2 and 8**).
10. Prior to the commencement of use of the pavilion, the development shall be connected to the reticulated sewerage system.
11. All septic sewer systems, including all tanks and pipes and associated drainage systems (soak wells or leach drains), are to be decommissioned in accordance with the Health (Treatment of Sewerage and Disposal of Effluent and Liquid Waste) Regulations 1974, removed, filled with clean sand, and compacted.
12. Prior to the commencement of works, all significant vegetation in and adjacent to the authorised work site shall be identified and protected by installation of Tree Protection Zones in accordance with Australian Standard AS 4970-2009 - *Protection of trees on development site*.
13. Prior to the commencement of use of the pavilion, the northern-most wash-down pad and associated pipework is to be removed and the area remediated.
14. Prior to the commencement of use of the pavilion, a Bushfire Evacuation Plan is to be submitted to and approved by the Department of Biodiversity, Conservation and Attractions on advice of the City of Swan (**Advice Notes 1, 2 and 9**).

15. At all times maintain unrestricted public access for pedestrians to Kings Meadow and polo grounds (excluding the pavilion).
16. All fill used is to be clean as defined by the Department of Water and Environmental Regulation and geotechnically suitable and otherwise fit for purpose, unless agreed in writing by the Department of Biodiversity, Conservation and Attractions.
17. The pavilion building must incorporate noise insulation measures in accordance with the requirements of State Planning Policy 5.1 – Land use planning in the vicinity of Perth Airport and Australian Standard 2021 – Building Site Acceptability Based on ANEF Zones.
18. Refuse bin areas adequate to service the development must be provided to the satisfaction of the City of Swan prior to commencement of use.
19. External lighting shall comply with the requirements of AS/NZS4282:2023 – Control of the Obtrusive Effects of Outdoor Lighting.
20. All contractors are to be made aware of the potential for archaeological material to be uncovered during excavation works, and a clear procedure is to be in place to ensure that any archaeological material is dealt with appropriately.
21. Within seven (7) days of the completion of construction of the pavilion, the applicant shall remove all waste materials, equipment, machinery and any temporary structures and ensure the site is cleaned-up.

ADVICE NOTES

1. Notifications and submission of documents required as a condition of this approval can be emailed to rivers.planning@dbca.wa.gov.au.
2. To allow sufficient time for the Department of Biodiversity, Conservation and Attractions to consider and approve the plans and details required under Conditions 4 - 9, the documents shall be submitted at least 30 days prior to the commencement of works or use.
3. Regarding **Condition 4**, the Construction Environmental Management Plan (CEMP) should describe how the authorised works will be managed to minimise potential environmental impacts. Guidance for preparation of a CEMP is provided in [DBCA Guidance Note 6 – Construction Environmental Management Plans](#) (the PDF will download automatically) and <https://bit.ly/SCRMAPolicies>.
4. Regarding **Condition 5**, the Nutrient and Irrigation Management Plan shall describe how the upkeep of turf and control of horse waste will be managed to minimise potential environmental impacts and shall address:
 - a. All solid waste including manure, contaminated straw, and excess grass and/or feed generated on the property shall be collected daily and after polo events from the property and stored on a low permeability surface with a fly-proof and waterproof cover to protect from stormwater infiltration, prior to disposal off-site;
 - b. Where composted manure is applied on turfed areas, it shall be in accordance with the application rates and procedures set out in section 3.5.2 Manure and Fertiliser Application in the Department of Water's *Water Quality Protection Guidelines: Environmental Management Guidelines for Horse Facilities and Activities* (2002);
 - c. Irrigation system should be managed to avoid excess irrigation that might lead to the leaching of nutrients from the turfed grass areas.
 - d. Fertilisers should be avoided in summer or winter. Summer fertilising encourages over-use of water and turf may grow excessively while fertiliser applied during winter will be washed into stormwater drains or leached into groundwater.
 - e. Regular soil testing is conducted before applying fertilisers to determine the nutrient requirements of the grass.

5. Regarding **Condition 6**, the Rehabilitation Management Plan shall address the provision and rehabilitation of a 50-metre foreshore to the Helena River and rehabilitation to the ephemeral drain to provide for adequate riparian vegetation. The Plan shall include:
 - a. plans/drawings/shape files showing the location, planting densities and species composition proposed for the 50-metre buffer along the Helena River and ephemeral drain;
 - b. a schedule of works;
 - c. weed control, including any chemicals to be used and its management within a water sensitive environment;
 - d. provision of appropriate fencing to control public access and prevent vehicular access; and
 - e. ongoing monitoring and maintenance requirements.
6. Regarding **Condition 7**, the final design and drawings shall include, unless otherwise agreed in writing:
 - a. detailed engineering drawings including details of stormwater management;
 - b. final design specifications of the structure inclusive of carparking, paths and realignment of the access track;
 - c. location, dimensions and distance of wash-down pads from the ephemeral drain;
 - d. screening of any machinery and bins;
 - e. details of external colours, building materials and finishes for the proposed building;
 - f. demonstrate that the selected materials and colour schemes are of low reflective standard and are sympathetic to the landscape setting, with minimal impact on the amenity of the area;
 - g. the proposed verandah to the front of the Pavilion building should be increased in depth;
 - h. the proposed balustrade to the verandah should be removed;
 - i. the proposed shade sails over the verandah should be replaced with a permanent roof;
 - j. the steps to the proposed verandah are aligned with the proposed entry doors; and
 - k. skylights to be installed into the roof to provide natural lighting to the internal hallway.

Should the Engineering Detailed Design be amended, the applicant must submit those drawings to the Department of Biodiversity, Conservation and Attractions for consideration. Major changes may require amendment to this approval or a new application to be lodged.

7. Regarding **Condition 8**, the Traffic and Parking Management Plan shall describe how traffic will be managed during polo and community events to ensure vehicle parking is restricted to designated areas. The Plan should include:
 - a. parking barriers to restrict vehicle access to designated parking areas only;
 - b. wayfinding and signage directing vehicles (one-way around the access track);
 - c. delineation of parking areas for polo events and community events; and
 - d. responsibilities of person(s) identified for implementation of the Plan and how the Plan will be implemented for community events.
8. Regarding **Condition 9**, the Landscape Plan should include:
 - a. Location and species of replacement trees. The applicant is required to plant no less than three (3) replacement trees for each tree removed. The replacement trees must be locally native and suited to the soil type of the area. Replacement trees are to be planted no later than the winter/spring planting season of 2025;
 - b. Planting of local native vegetation to the west of the wash-down pads to manage excess nutrients washing into the drain. It is recommended that the biofilters are designed in accordance with the: *Adoption Guidelines for Stormwater Biofiltration*

Systems (Payne et al. 2015) and the *Vegetation Guidelines for Stormwater Biofilters in the South-West of Western Australia* (Monash University 2014); and

- c. Landscaping surrounding the pavilion.
9. Regarding **Condition 14**, the Bushfire Evacuation Plan must be prepared by a Level 3 accredited Bushfire Planning Practitioner and in accordance with State Planning Policy 3.7 - Planning in Bushfire Prone Areas.
 10. The noise generated by activities on-site, including machinery motors or vehicles is not to exceed the levels as set out under the Environmental Protection (Noise) Regulations 1997. Noisy construction work is not permitted outside the period 7.00am to 7.00 pm Monday to Saturday and at any time on Sundays and Public Holidays unless a Noise Management Plan for the construction site has been approved in writing by the City of Swan.
 11. Where the development is to be used as a 'Public Building', as defined by the *Health Act 1911* the premises must first comply with the Health (Public Building) Regulations 1992. A 'Certificate of approval' detailing the approved use and maximum occupancy must be obtained from the City of Swan's Health Service prior to the use of the premises as a public building.
 12. New food premises must submit to Health Services either a New Food Business Registration Form or in the case of Charities and Community Groups a Notification Form for an Exempt Food Business prior to any food being prepared or sold on the premises.
 13. Mosquito and midge control is to be incorporated into the storm water system design with consideration given to water retention times and any compensating basin design. Guidance can be sought from the Guidance Statement for Management of Mosquitoes by Land Developers No. 40 – June 2000 published by the Environmental Protection Authority of Western Australia.
 14. The carrying on of the development must not cause a dust nuisance to neighbours. Where appropriate such measures as installation of sprinklers, use of water tanks, mulching or other land management systems should be installed or implemented to prevent or control dust nuisance, and such measures shall be installed or implemented within the time and in the manner directed by the City of Swan if it is considered that a dust nuisance exists.
 15. It is recommended that the applicant contact the Department of Planning, Lands and Heritage to seek advice relating to the authorised activity and the Aboriginal heritage values of the area, to ensure that the authorised works do not breach the *Aboriginal Heritage Act 1972*.
 16. The proposed works are located in a moderate to low risk Acid Sulphate Soils risk area. The Acid Sulphate Soils Guideline Series for guidance on the identification, assessment and management of acid sulphate soils in Western Australia is available from the Department of Water and Environmental Regulation at: www.dwer.wa.gov.au. If Acid Sulphate Soils are exposed during the works, the Department of Water and Environmental Regulation should be contacted for further advice.

FINAL REPORT ENDORSED

Signed:  _____

Date: 16 September 2024

Stuart Smith
Director General, Chief Executive Officer

Proposed Pavilion - Kings Meadow, Guildford

Legend

- Subject Site
 - Swan Canning Development Control Area
 - Approximate position of proposed pavilion
- Cadastral SCDB - State
- Freehold
 - Crown Reserve

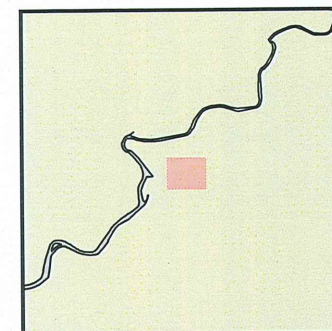


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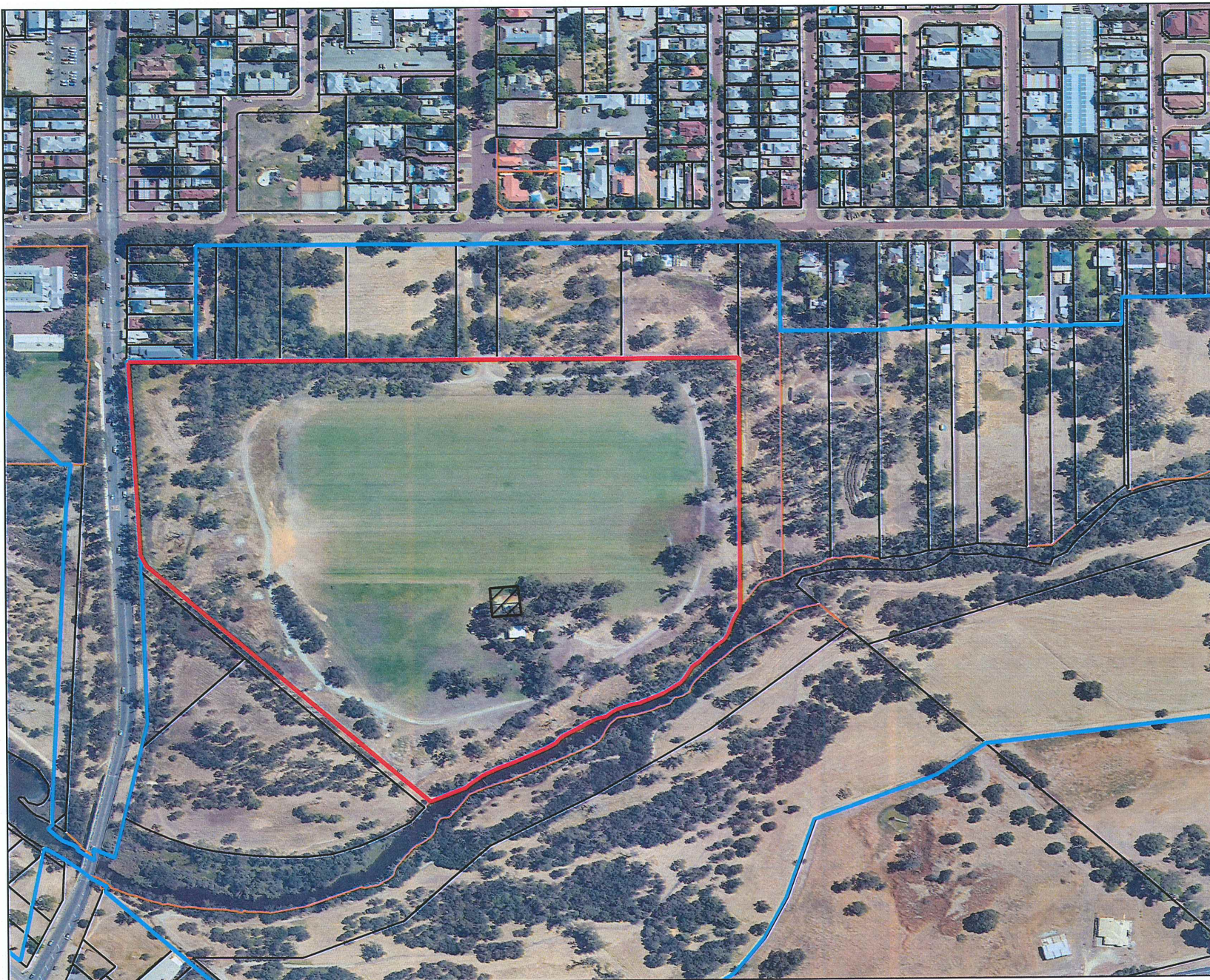
Geographic Projection
Datum: GDA94



Produced by Holly McMurray,
Department of Biodiversity,
Conservation and Attractions



Job Ref: 22-2103
Produced at 01:00 PM on September 04, 2023





NEW PAVILION KINGS MEADOW POLO GROUND
HELENA STREET, GUILDFORD



NOTE:
 -3D IMAGES ARE INDICATIVE ONLY.

TABLE OF CONTENTS	
Drawing No.	Drawing Name
A0	Cover Page
A1	Site Survey Plan
A2	Site Plan
A3	Partial Site Plan
A4	Floor Plan
A5	Elevations

ACCREDITED MEMBER BUILDING DESIGNER **Design Matters National**

DA - ISSUED FOR APPROVAL

Client: **Perth Polo Club Guildford**

Project Title: **Lot 234 Helena Street, Guildford**

Cover Page

SHEET NO: A1 ESTIMATE: 65,342.11 Project Number: Drawing Number:
 DESIGN: CL CHECKED: MB 2352 A0

SCALE: 1:1

REVISION	DATE	DESCRIPTION
A	14.03.24	Issued for Approval
B	16.04.24	Amendments as per DBCA review
C	23.04.24	Additional amendments as per DBCA review
D	xx.xx.xx	

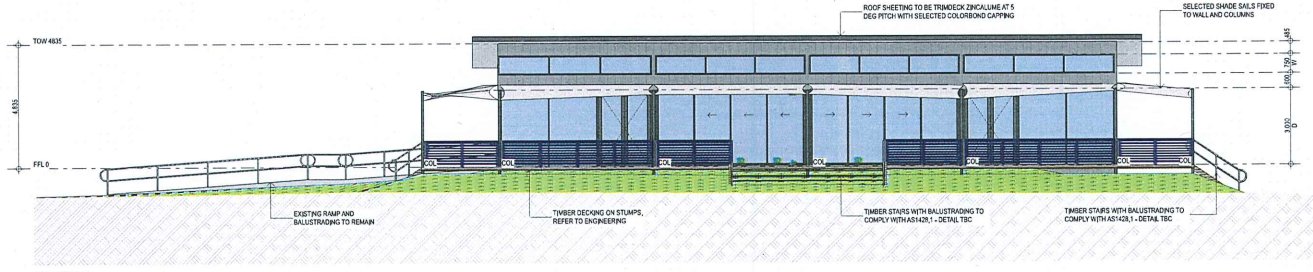
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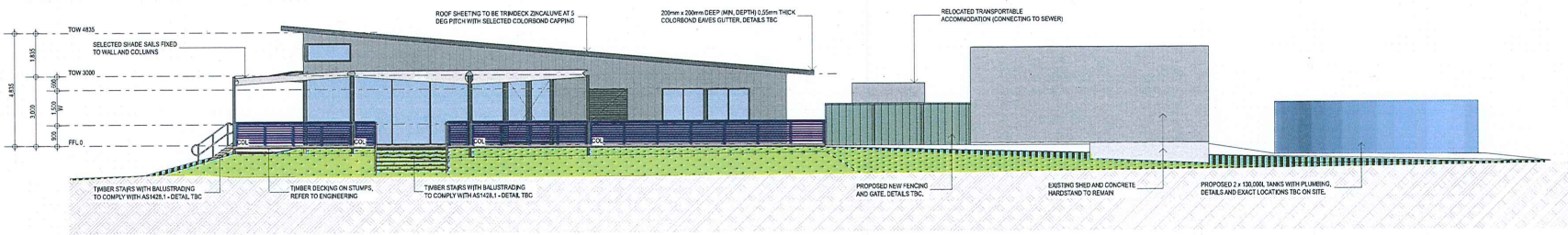
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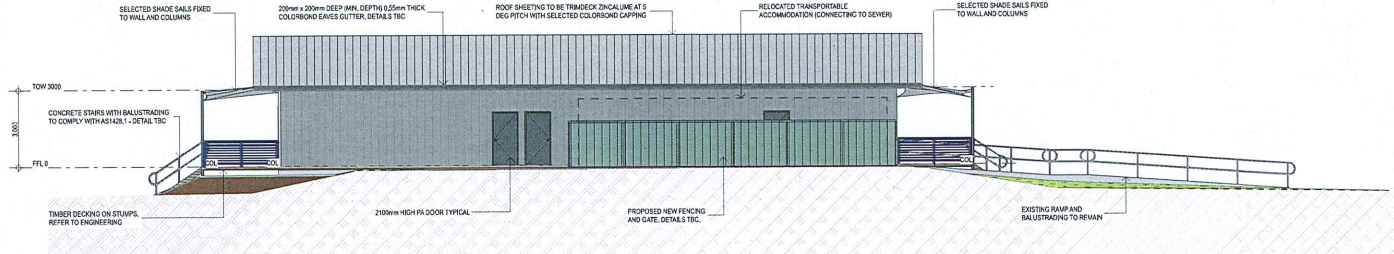
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Elevation 1
1:100



Elevation 2
1:100



Elevation 3
1:100



Elevation 4
1:100

ABBREVIATIONS:
 -FE = FIRE EXTINGUISHER
 -FHR = FIRE HOSE REEL
 -COL = COLUMN
 -DP = DOWNPIPE
 -PJ = PANEL JOINT

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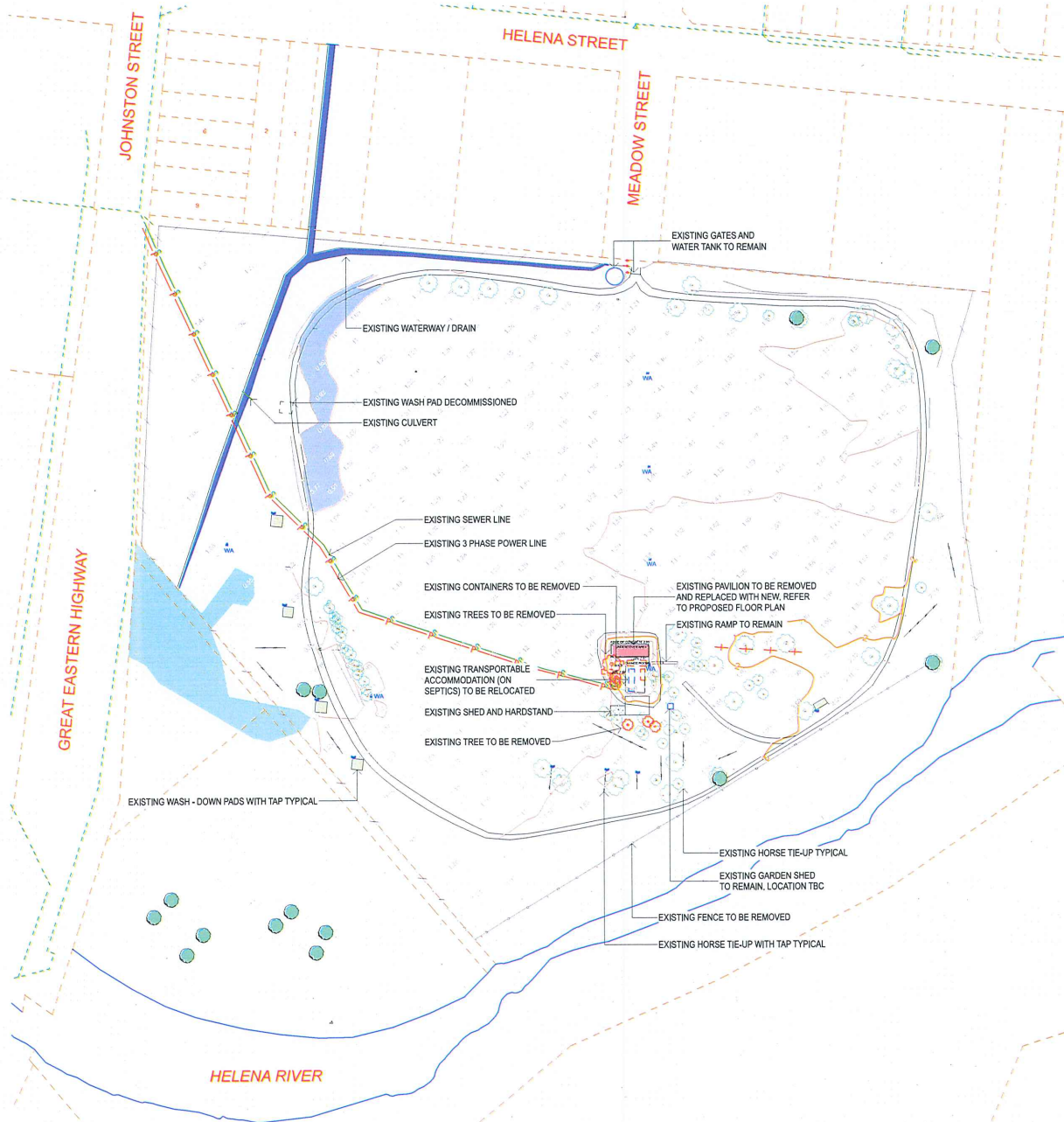
Project Title: Lot 234 Helena Street, Guildford

Elevations

REVISION	DATE	DESCRIPTION
A	14.03.24	Issued for Approval
B	16.04.24	Amendments as per DBCA review
C	23.04.24	Additional amendments as per DBCA review
D	29.04.24	

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- Tree Trunk/Stamp
 - Bollard
 - Tree (0.0-0.3m Trunk DIA)
 - Tree (0.3-1.0m Trunk DIA)
 - Tree (1.0-1.5m Trunk DIA)
 - Survey Control
 - Natural Surface
 - Column Centre
 - Floor Level
 - Reticulation Control Valve
 - Tap
 - Stop Valve
 - Steel Wire Anchor
 - Power Pole
 - Park Bench/Seating
 - Drain
 - Edge of Drain (Right)
 - Edge of Drain (Left)
 - Fence
 - Gate
 - Shed
 - Line Of Levels
 - Bank Bottom
 - Bank To Left
 - Bank To Right
 - Edge of Bitumen
 - Track
 - Edge of Concrete Left/Right
 - Handrail
 - Steps / Stairs
 - Floor Levels
 - Building
 - Water Pipe
 - Chain Link Fence

LEGEND

- WPC LOAD
- WETLAND
- SEASONAL STANDING WATER
- MURDOCH UNIVERSITY TREE (DEBACK / DECLINE)
- DRAIN AT KING'S MEADOW FOLDO
- EXISTING HORSE TIE-UP LINES

Site Survey Plan
T1920



DA - ISSUED FOR APPROVAL

Client: Perth Polo Club Guildford

Project Title: Lot 234 Helena Street, Guildford

Site Survey Plan

SHEET SIZE: A1 (START DATE: 05/04/21) Project Number: 99401-DE-001-B Drawing Number: A1

DRAWN: GL CHECKED: MB SCALE: 1:1200

REVISION	DATE	DESCRIPTION
A	14.03.24	Issued for Approval
B	15.04.24	Amendments as per DBCA review
C	23.04.24	Additional amendments as per DBCA review
D	24.04.24	



Rev.	Description	Drawn	Date	Checked
0	Additional Lines Added to Boundary	AKA	22/08/2021	SAH
1	Initial Issue	AKA	04/09/2021	SAH

SCALE 1:1200 @ A1
ALL DISTANCES ARE IN METRES
For a true to scale reproduction of this plan, plot it at A1 with the Printing Scaling set to None.

Surveyor: WED
Survey Date: 15/08/2015
Project Code: 00/05/2015

15 585311 034 592207



The boundaries shown on this plan were not re-established as part of this survey. Therefore this plan does not guarantee their accuracy. Landry easements, encroachments or interests are not depicted and a title search is recommended to obtain this information. Re-establishment of the natural boundaries is recommended for any proposed works on or near existing boundaries.

NICHOLSON-KIRWAN GROUP
Level 2, 25 Sully Street
Perth, WA 6000
M.A. 1206, Australia
Tel: 08 9436 2200
Fax: 08 9436 2100
www.nicholson-kirwan.com.au

CLIENT: LESTER

Project No: 99401-DE-001-B

PERTH POLO - GUILDFORD
KINGS MEADOW RESERVE
DETAIL SURVEY

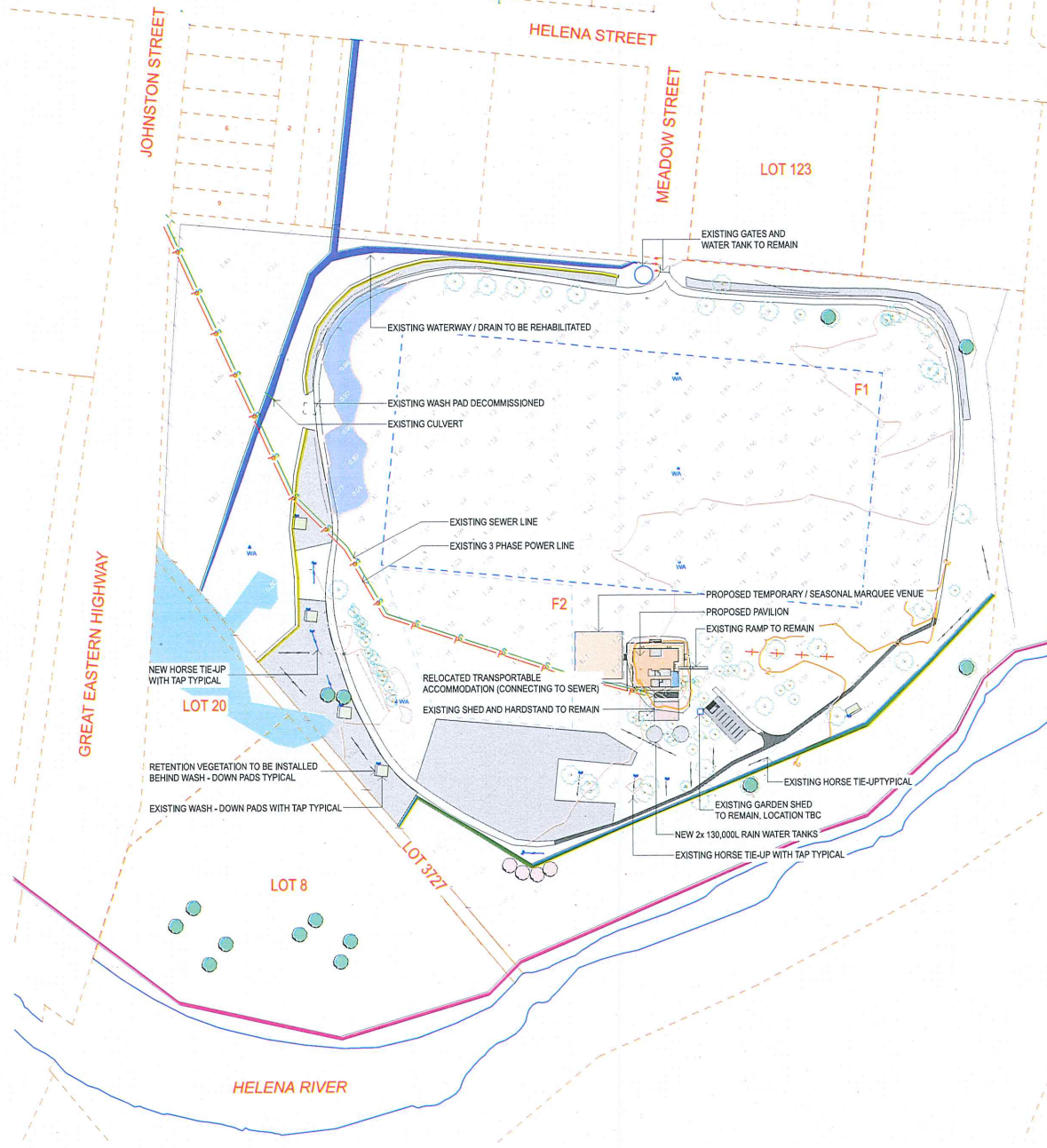
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LEGEND

- F1 - POLO FIELD, OTHER EQUINE USE, GENERAL PUBLIC RECREATION SPACE
- F2 - OTHER EQUINE USE, GENERAL PUBLIC RECREATION SPACE
- EXISTING SHED TO REMAIN - REFER TO DETAIL
- TEMPORARY / SEASONAL MARQUEE VENUE
- PROPOSED NEW ROAD BASE CAR PARKING AREA
- EXISTING WASH - DOWN PADS
- INFORMAL PARKING ON GRASS
- REVEGETATION ZONE
- MURDOCH UNIV STUDY TREE (DEBRACK / DECLINE)
- PROPOSED NATIVE TREES
- PARKING BARRIER TO REVEGETATION AREA
- ACCESS TRACK REALIGNMENT
- FENCE TO REVEGETATION AREA
- PROPOSED MANDOOK - HELENA RIVER WYONGAR HERITAGE TRAIL
- DRAIN AT KING'S MEADOW POLO
- EXISTING HORSE TIE-UP LINES
- NEW HORSE TIE-UP LINES
- WETLAND
- SEASONAL STANDING WATER

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DA - ISSUED FOR APPROVAL

Client: **Perth Polo Club Guildford**
 Project Title: **Lot 234 Helena Street, Guildford**

Site Plan

SHEET SIZE	A1	DATE	05/01/21	Project Number:		Drawing Number:	
DRAWN	CL	CHECKED	WB		2352		A2
SCALE	1:1200, 1:250						

REVISION	DATE	DESCRIPTION
A	14/03/24	Issued for Approval
B	16/04/24	Amendments as per DBCA review
C	23/04/24	Additional amendments as per DBCA review
D	05/05/24	



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 Mobile: 0425 145 370

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Attachment 1E

From: [Philip Russell](#)
To: [Holly McMurray](#)
Cc: [Kris Angell](#)
Subject: RE: Perth Polo Club - Amended Plans for Comment
Date: Thursday, 13 June 2024 12:44:51 PM
Attachments: [POLO CONDITIONS.docx](#)

[External Email] This email was sent from outside the department – be cautious, particularly with links and attachments.

Holly,

The City supports the application and recommends conditions attached inclusive of some further modifications to elements of the building as suggested by the City's Design Review.

REgards

Philip Russell  Manager
Statutory Planning



PO Box 196
MIDLAND WA 6936

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www.swan.wa.gov.au

The City of Swan is pleased to advise that it now provides an online application tracking facility. That's right! You are no longer limited to calling us during office hours. Simply visit www.swan.wa.gov.au/applicationsonline to check the status of your planning or building application. Available 24 hours a day 7 days a week.

CONDITIONS

1. The approved development must comply generally with the attached approved plans, subject to the following required modifications:
 - (i) the proposed veranda to the front of the Pavillion building should be increased in depth;
 - (ii) the proposed balustrade to the veranda should be removed;
 - (iii) the proposed shade sails over the veranda should be replaced with a permanent roof;
 - (iv) the steps to the proposed veranda are aligned with the proposed entry doors; and
 - (v) skylights to be installed into the roof to provide natural lighting to the internal hallway.

Plans of the required modifications should be submitted to the satisfaction of the (INSERT APPORVAL AUTHORITY) on advice from the City of Swan prior to the issue of a Building Permit.

2. The Pavilion building must incorporate noise insulation measures in accordance with the requirements of State Planning Policy 5.1 – Land use planning in the vicinity of Perth Airport and Australian Standard 2021 – Building Site Acceptability Based on ANEF Zones.
3. All building works to be carried out under this development approval are required to be contained within the boundaries of the subject lot.
4. Prior to a Building Permit being issued, a Bushfire Management Plan and Bushfire Emergency Evacuation Plan must be submitted to and approved by (INSERT APPORVAL AUTHORITY) on advice of the City of Swan. The Bushfire Management Plan and Bushfire Emergency Evacuation Plan must be prepared by a Level 3 accredited Bushfire Planning Practitioner.
5. Prior to occupation or use of the development, a Parking Management Plan must be submitted to, and approved by (INSERT APPORVAL AUTHORITY) on advice of the City of Swan.
6. Vehicle parking, access and circulation areas must be maintained in accordance with the approved Parking Management Plan.
7. All stormwater must be contained and disposed of on-site at all times, to the satisfaction of the (INSERT APPROVAL AUTHORITY).
8. Refuse bin areas adequate to service the development must be provided to the satisfaction of (INSERT APPROVAL AUTHORITY) on advice from the City of Swan prior to occupation or use of development.
9. An approved effluent disposal system must be installed prior to the occupation of the Pavillion building.
10. External lighting shall comply with the requirements of AS 4282 – Control of Obtrusive Effects of Outdoor Lighting.
11. All contractors are to be made aware of the potential for archaeological material to be uncovered during excavation works, and a clear procedure is to be in place to ensure that any archaeological material is dealt with appropriately”.

ADVICE NOTES

- a) The noise generated by activities on-site, including machinery motors or vehicles is not to exceed the levels as set out under the Environmental Protection (Noise) Regulations 1997. Noisy Construction Work outside the period 7.00am to 7.00 pm Monday to Saturday and at any time on Sundays and Public Holidays is not permitted unless a Noise Management Plan for the construction site has been approved in writing by the City.
- b) Where the development is to be used as a 'Public Building', as defined by the Health Act 1911 the premises must first comply with the Health (Public Building) Regulations 1992. A 'Certificate of approval' detailing the approved use and maximum occupancy must be obtained from the City of Swan's Health Service prior to the use of the premises as a public building.
- c) New food premises must submit to Health Services either a New Food Business Registration Form or in the case of Charities and Community Groups a Notification Form for an Exempt Food Business prior to any food being prepared or sold on the premises.
- d) Mosquito and midge control is to be incorporated into the storm water system design with consideration given to water retention times and any compensating basin design. Guidance can be sought from the 'Guidance Statement for Management of Mosquitoes by Land Developers No. 40 – June 2000' published by the Environmental Protection Authority of Western Australia.
- e) The carrying on of the development must not cause a dust nuisance to neighbours. Where appropriate such measures as installation of sprinklers, use of water tanks, mulching or other land management systems should be installed or implemented to prevent or control dust nuisance, and such measures shall be installed or implemented within the time and in the manner directed by the City of Swan if it is considered that a dust nuisance exists.
- f) The development may require approval under the provisions of the Aboriginal Heritage Act. You are advised to contact the Department of Indigenous Affairs for further information related to this development.
- g) The land or a portion of the land subject of this approval has been identified as potentially being in an area affected by acid sulphate soils and, as such, it is your responsibility to ensure that all building works comply with WAPC Bulletin 64. For more information contact the Department for Environment and Conservation on (08) 6467 5000.



Your ref: 2022/2103
Our ref: DWERT950 PA052531
Enquiries: Bree Lyons, Ph 6250 8035

Josie Watson
Rivers and Estuaries Branch
Department of Biodiversity, Conservation and Attractions
17 Dick Perry Avenue
Kensington WA 6151

Via email: rivers.planning@DBCA.wa.gov.au

Dear Josie,

REFERRAL FOR COMMENT – PART 6 – 2022/2103 – RESERVE 261, MEADOW STREET, GUILDFORD – NEW PAVILION – PERTH POLO CLUB

Thank you for providing the above referral for the Department of Water and Environmental Regulation (Department) to consider.

The Department has identified that the referral has the potential for impact on water and environment values and management. While the Department does not object to the proposal key issues and recommendations are provided below, and these matters should be addressed:

The Department in carrying out its role in floodplain management, provides advice and recommends guidelines for development on floodplains with the object of minimising flood risk and damage.

The Swan and Helena Rivers Flood Study (2018) shows that the Lot is affected by major flooding with the following flood levels expected:

1 in 10 AEP	2.5 m AHD
1 in 20 AEP	3.0 m AHD
1 in 50 AEP	3.8 m AHD
1 in 100 (1%) AEP	4.3 m AHD (refer to attached plan)
1 in 500 AEP	6.0 m AHD

The Department has the following comments to provide specific to the proposed development on the site:

- The proposal for the tank component of the sewer pumping system and fill is in the floodway near the existing buildings (see attached plan).

- The proposed tank is in the shadow of the existing building, so will not be an additional obstruction to flow and it is not going to change the existing flood regime.
- The Department has no objection to the proposed pavilion at the location of the existing clubrooms and proposal for the fill and tank for the sewerage system.

This advice is related to major flooding only and other planning issues, such as environmental and ecological considerations, may also need to be addressed.

If you wish to discuss the matter further, please contact Bree Lyons on 6250 8035 or via email – bree.lyons@DWER.wa.gov.au.

Yours sincerely



Bree Lyons
Senior Natural Resource Management Officer
Planning Advice
Swan Avon Region

21 / 11 / 2022

From: [Moss Wilson](#)
To: [Rivers Planning](#)
Subject: 2022/2103 - Response, Perth Polo Club Proposed Development
Date: Monday, 7 November 2022 4:24:42 PM
Attachments: [image001.jpg](#)

[External Email] This email was sent from outside the department – be cautious, particularly with links and attachments.

Hi everyone,

Thank you for your email dated 1 November 2022, seeking comment on the proposed replacement of the pavilion and related works at the Perth Polo Club, Reserve 261, Guildford.

A review of the Register of Places and Objects as well as the Department of Planning, Lands and Heritage's Aboriginal Heritage Database confirms that the area, as depicted in the development application by Briscoe and Kikeros, intersects with registered Aboriginal Heritage sites ID 3609 (The Meadows) and ID 3758 (Helena River), as well as the public, but not actual (restricted) boundary of ID 3840 (Bennett Brook: Camp Area). The development area further intersects with the boundary of registered site ID 3545 (Helena River West), however my understanding of the site is that it exists on the southern side of the Helena River.

As the proposed development involves significant ground disturbance that may impact ID 3609 (The Meadows) and ID 3758 (Helena River), the proponents need to be made aware that approval under the *Aboriginal Heritage Act 1972* will be required prior to works, and my advice is that this should be approached as a section 18 application under the Act. To start the process, the proponents should consult with the knowledge holders for these sites, and with the representative body (Whadjuk Aboriginal Corporation via South West Land and Sea Council).

A final note: everything I have described is the usual approval process under the current Act, however from July 2023 the state will be operating under the new *Aboriginal Cultural Heritage Act 2021*. I recommend the proponents are made aware of this situation in terms of the timing of any future applications.

Happy to talk more about any of this,

Moss Wilson | Senior Heritage Officer, Aboriginal Heritage Conservation | Heritage and Property Services
140 William Street, Perth WA 6000
6552 4056 | 0437 502 369
www.wa.gov.au/dplh



We're on a Roll, WA

Keep doing 3 simple things

Wear a mask when necessary | Update your vaccinations | Wash hands regularly.

The Department acknowledges the Aboriginal people of Western Australia as the traditional custodians of this

land and we pay our respects to their Elders, past and present.

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Department of Planning,
Lands and Heritage

OFFICIAL

Your ref: N/A
Our ref: P2915-50913
Enquiries: Sheree Morrison (08) 6552 4019

Ms Holly McMurray
Department of Biodiversity, Conservation and Attractions
holly.mcmurray@dbca.wa.gov.au

Dear Ms McMurray

GUILDFORD HISTORIC TOWN

Under the provisions of Section 73 of the *Heritage Act 2018*, the proposal as described below has been referred to the Heritage Council for its advice.

Place Number	P2915-50913
Place Name	GUILDFORD HISTORIC TOWN
Street Address	Reserve 261, Meadow Street, Guildford
Referral date	21 September 2023
Proposal Description	New Polo Club Pavilion

We received a copy of the application documentation, including *Kings Meadow Polo Ground Supporting Information for Development Application* prepared by Dr. Garry Briscoe and Andrew Kikeros, May 2023.

The proposal has been considered in the context of the identified cultural heritage significance of *Guildford Historic Town*, and the following advice is given:

Findings

1. *Guildford Historic Town* was established during the founding of the Swan River Colony (1829) and has significance as a rare and highly intact nineteenth century town that retains the original grid layout pattern based around a central square. The Town is bounded by the Swan and Helena Rivers and is characterised by its built fabric that represents development during the early Colonial, Gold Boom and Federation periods.
2. This referral relates to an amended proposed for a new polo pavilion to replace the existing clubhouse at Kings Meadow, which is a part of *Guildford Historic Town*. The Heritage Council previously provided advice supporting the original proposal to the City of Swan and WAPC in January 2023.
3. As per the original proposal, the new pavilion will occupy the same footprint and will connect to the existing sewer system.
4. The proposal will have no discernible benefit or impact on the cultural heritage significance of *Guildford Historic Town*.

Advice

The proposal, in accordance with the plans submitted, is supported.

Please be reminded that you are required under r.42(3) of the *Heritage Regulations 2019* to provide us with a copy of your determination within 10 days after making the decision.

Should you have any queries regarding this advice please contact Sheree Morrison at sheree.morrison@dplh.wa.gov.au or on 6552 4019.

Yours sincerely



Adelyn Siew
Director
Historic Heritage Conservation

28 September 2023

cc: Andrew Kikeros, Perth Polo Club