



Swan and Canning Rivers Management Act 2006

PART 5

DETERMINATION OF DEVELOPMENT APPLICATION

FILE NUMBER	:	2023-5095
APPLICANT	:	Rowe Group
LANDOWNER	:	City of South Perth
LAND DESCRIPTION	:	Portion of Lot 11835 on Plan 240379 (Reserve 34565) and Lots 778 on Plan 163503 and 780 on Plan 91394 Coode Street, South Perth
DEVELOPMENT	:	Redevelopment of Wesley boatshed including: the demolition of the existing boatshed and the construction of a boatshed for Wesley and Penrhos colleges
VALID FORM 1 RECEIVED	:	27 September 2023
DETERMINATION	:	APPROVAL WITH CONDITIONS

The application to commence development in accordance with the information received on 27 September 2023 and as subsequently amended through amended plans dated 28 March 2024 is APPROVED subject to the following conditions:

CONDITIONS

1. Approval to implement this decision is valid for two (2) years from the date of this approval. If substantial on-site works have not commenced within this period, a new approval will be required before commencing or completing the development.
2. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works (**Advice Note 1**).
3. All works are to be carried out in accordance with a Construction Environmental Management Plan as approved, prior to the commencement of works, on advice of the City of South Perth, by the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1 - 2**).
4. The cost of all works within the foreshore associated with the development, including the removal of the existing boatshed, retaining wall and concrete ramp, regrading of land from the proposed building to the river edge and installation of pathways are to be borne by the Applicant.
5. Prior to commencement of works, the applicant is to submit to and obtain approval in writing from the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth for final architectural drawings showing:
 - a. siting of the proposed development in proximity to vegetation and existing infrastructure
 - b. floor plans
 - c. elevation plans
 - d. schedule of colours, materials and finishes

- e. visual render of the proposed building within the existing/proposed landscape setting, illustrating the retention of trees and the screening they provide
 - f. details of any proposed modification to the car parking area resulting from the proposed provision of vehicle access to boatshed
 - g. detailed engineering drawing showing the full extent of all foreshore works for example regraded river edge treatment (**Advice Note 3**).
6. Prior to commencement of works, a detailed Landscape Plan is to be submitted to and approved in writing by the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth to address the following:
- a. hard and soft landscaping areas
 - b. the location, species and details of all trees and plants to be retained and removed
 - c. the size (both height and pot size) and number of new trees and plants to be planted
 - d. the location of any lawn areas to be established
 - e. reticulation details
 - f. details of any proposed vertical landscaping (**Advice Note 4**).
7. Prior to commencement of use, landscaping is to be installed and maintained in accordance with approved Landscape Plan, or any modifications approved thereto, to the satisfaction of the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth.
8. Replacement trees are to be planted at a rate of no less than three (3) for each tree removed and maintained to the requirements and satisfaction of the Department of Biodiversity, Conservation and Attractions on advice of the City of South Perth (**Advice Note 5**).
9. Prior to commencement of works, an external Lighting Plan demonstrating compliance with Australian Standard 4282 – Control of Obtrusive Effects of Outdoor Lighting must be submitted and approved in writing by the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth. The lighting is to be designed and located to prevent any increase in light spill onto the adjoining properties. Prior to occupation and use of the development, the lighting shall be installed in accordance with the approved plan and maintained thereafter to the satisfaction of the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth (**Advice Note 6**).
10. The development shall be connected to the reticulated sewerage system at the full cost of the applicant to the requirements and specifications of the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth and Water Corporation (**Advice Note 7**).
11. Stormwater run-off from constructed impervious surfaces generated by small rainfall events (i.e. the first 15 mm of rainfall) shall be retained and/or detained and treated (if required) at-source as much as practical and will not be permitted to enter the river untreated.
12. A tree protection zone (TPZ) in accordance with Australian Standard AS4970-2009 shall be implemented during demolition and construction for the trees retained within 50m of the development site and all trees proposed to be retained within the development site to the satisfaction of the Department of Biodiversity Conservation and Attractions on the advice of the City of South Perth (**Advice Note 8**).

13. Prior to commencement of works, the applicant is to submit plans demonstrating that external fixtures, such as air-conditioning infrastructure, shall be integrated into the design of the building so as to not be visually obtrusive when viewed from the reserve and adjoining public open space and to protect the visual amenity of residents in neighbouring properties, to the satisfaction of the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth.

ADVICE NOTES

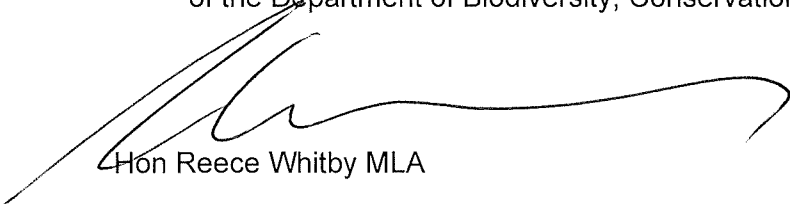
1. Notifications can be emailed to rivers.planning@dbca.wa.gov.au.
2. Regarding **Condition 3**, the Construction Environmental Management Plan (CEMP) should describe how the authorised works will be managed to minimise potential environmental impacts. Guidance for preparation of a CEMP is provided in [DBCA Guidance Note 6 – Construction Environmental Management Plans](#) (the PDF will download automatically) and <https://bit.ly/SCRMAPolicies>.
3. Regarding **Condition 5**, the selected colour scheme and finishes for the development should reflect the character and landscape setting naturally occurring in the locality of the Swan River and surrounding foreshore. The schedule should address:
 - a. details of external colours, building materials and finishes for the proposed buildings and structures
 - b. demonstrate that the selected materials and colour schemes are of low reflective standard and are sympathetic to the landscape setting, with minimal impact on the amenity of the area.
4. Regarding **Condition 6**, the Landscape Plan should include:
 - a. provision of a footpath on the river side of the building
 - b. the number of plants (and species) to be removed (noting that any native plants should be relocated where possible)
 - a. the location, planting densities and species composition (noting that appropriate local native species should be planted in riparian zones at a ratio of 500:50:5 herbs/sedges:shrubs:trees for each 100m²)
 - b. weed control, including target species and any chemicals to be used, and its management within a water sensitive environment
 - c. stabilisation measures (e.g. matting type and extent of bioengineering solutions)
 - d. a reticulation plan, indicating type and location of sprinkler, bubbler, drippers and if bore or scheme water will be utilised
 - e. ongoing monitoring and maintenance program (being a minimum of 3 years).
5. Regarding **Condition 8**, the replacement trees must be:
 - a. locally native and suited to the soil type of the area
 - b. at least 1.5m tall at the time of planting
 - c. located within the vicinity of the plant to be removed
 - d. maintained for 3 years and any trees that do not survive within this period shall be replaced no later than the next winter/spring planting season.
6. Regarding **Condition 9**, lighting should be designed to minimise light spill so that fauna, community enjoyment and visual amenity are not unacceptably affected. All lighting is to be consistent with the *National Light Pollution Guidelines for Wildlife* (Department of Climate Change, Energy, the Environment and Water, 2023). Further, light spill to the

river and within habitat areas should be no more than 0.01-0.03 lux (moonlight), where possible, to ensure no adverse ecological consequences.

The Lighting Plan should address the following design principles:

- start with natural darkness and only add artificial light for specific and defined purposes
- use adaptive controls (e.g. dimmers, timers, motion sensors etc.)
- light only the intended object or area – keep lights close to the ground, directed and shielded
- use non-reflective surfaces
- use lights with reduced or filtered-out blue, violet and ultraviolet wavelengths.

7. Regarding **Condition 10**, the sewer pump station and supporting infrastructure required to connect the development to the reticulated sewer system is to be sized and made available to accommodate connection of a future change room and toilet facility which is to be constructed in the local area by the City of South Perth.
8. Regarding **Condition 13**, the Australian Standards specify the following measures are required to protect trees:
 - a. A minimum 2.0m radius tree protection zone (TPZ) shall be provided through 1.8m high fencing around the verge trees (chain mesh panels or other suitable material) during construction of the subject development.
 - b. The above fencing is not to be moved or removed at any period during construction, and this zone is not to be entered for any reason; signage notifying people of the TPZ, and the associated requirements is to be placed on each side of the fencing.
 - c. All activities and works related to construction of the subject development, including parking of vehicles, storage of materials, and washing of concreting tools and equipment is prohibited within the designated TPZ unless prior approval is sought from the City of South Perth.
 - d. Any roots identified to be pruned shall be pruned with a final cut to undamaged wood outside of the TPZ. Pruning cuts shall be made with sharp tools such as secateurs, pruners, handsaws or chainsaws. Pruning wounds shall not be treated with dressings or paints. It is not acceptable for roots to be 'pruned' with machinery such as backhoes or excavators.
9. The Department of Biodiversity, Conservation and Attractions acknowledges the commitment made by Wesley and Penrhos colleges that prior to or in conjunction with the submission of an application for a building permit a community benefit contribution of \$300,000 will be paid to the City of South Perth and that the contribution will be held by the City of South Perth and utilised for the upgrading of Coode Street Node 2 Area in accordance with the South Perth Foreshore Strategy and Management Plan (2015).
10. Note that it is an offence under the Swan and Canning Rivers Management Regulations 2007 to destroy, pull up, cut back or injure any tree, shrub or perennial plant that is on land within the Swan Canning Development Control Area, except with the prior approval of the Department of Biodiversity, Conservation and Attractions.



Hon Reece Whitby MLA

MINISTER FOR ENVIRONMENT

Date: 15/10/24.

DEPARTMENT OF BIODIVERSITY, CONSERVATION AND ATTRACTIONS REPORT

PROPOSAL	Redevelopment of Existing Boatshed for Wesley College and Penrhos College
LOCATION	Portion of Lot 11835 on Plan 240379 (Reserve 34565) and Lots 778 on Plan 163503 and 780 on Plan 91394 Coode Street, South Perth
COST	\$2,400,000
APPLICANT	Rowe Group on behalf of Wesley College and Penrhos College
LANDOWNER	Land under the care, control and management of the City of South Perth
LOCAL GOVERNMENT	City of South Perth
MRS CLASSIFICATION	Parks and Recreation Reserve
DECISION TYPE	Part 5, <i>Swan and Canning Rivers Management Act 2006</i> , Ministerial Determination
ATTACHMENTS	<p>1A Amended Development Proposal 1B Initial Development Proposal – Plans, Visual Representation and Landscape Concept 1C Referral response – City of South Perth 1D Referral responses –</p> <ul style="list-style-type: none"> • Department of Water and Environmental Regulation • Department of Planning, Lands and Heritage – Land Management • Department of Planning, Lands and Heritage – Heritage Property Services • Department of Planning, Lands and Heritage – Aboriginal Heritage • Department of Transport <p>1E Section 74 - Summary of Public Submissions 1F Section 75 - Summary of Public Submissions on Draft Report 1G Section 75 - Referral responses on Draft Report 1H City of South Perth Foreshore Concept 1I Arborist Report 1J Wesley and Penrhos Colleges' Correspondence</p>
APPROVAL WITH CONDITIONS	

1. INTRODUCTION

- 1.1 The Department of Biodiversity, Conservation and Attractions (DBCA) has received an application from Rowe Group on behalf of Wesley College and Penrhos College, proposing the redevelopment of the existing Wesley College Boatshed to co-locate both Wesley and Penrhos colleges rowing facilities at Lots 778, 780 and portion of Lot 11835 (Reserve 34565) Coode Street, South Perth (**Figure 1**).



Figure 1: Location plan – Coode Street, South Perth Foreshore – proposed works extent delineated in red. Swan Canning development control area delineated in blue.

1.2 The proposal (refer **Attachment 1A**) includes:

- The demolition of the existing Wesley Boatshed and removal of retaining walls, pedestrian paths and trees (eight mature trees and planting of 24 locally native trees at a rate of 3 new trees for each tree removed).
- The construction of a 982m² boatshed (roof cover 1,103m²) consisting of five (5) roller door boat storage bays, 66m² rowing gym, kitchen, storage, toilet and changeroom facilities.
- A new sewer pump station.
- Improved vehicular access from the existing car park.
- Landscaping and new pedestrian pathways.

1.3 The subject land is contained within the Parks and Recreation Reserve under the Metropolitan Region Scheme.

1.4 The proposed development is to occur on land entirely within the Swan Canning Development Control Area (DCA) and therefore requires an approval from the Minister for Environment in accordance with Part 5 of the *Swan and Canning Rivers Management Act 2006* (SCRM Act).

1.5 Under delegation from the Director General, DBCA has prepared this draft report in accordance with section 75(2) of the SCRM Act.

2. CONSULTATION

- 2.1 In accordance with section 73 of the SCRM Act, the application was advertised on DBCA's website for 42 days commencing on 23 October 2023.
- 2.2 In accordance with section 74 of the SCRM Act, the proposal was considered a 'matter of significant public interest' and the application was publicly notified in the West Australian and Perth Now newspapers, along with a sign placed on site and notices displayed on DBCA's and City of South Perth's (the City) websites for 28 days commencing on 4 November 2023.
- 2.3 Additional consultation was then undertaken with the City on 8 January 2024 and with the Applicant on 23 January 2024.
- 2.4 As a result of additional consultation, amended plans were received from the Applicant and DBCA requested the City consider an amended proposal.
- 2.5 Further engagement between the Applicant, colleges, City and DBCA occurred on 14 March 2024, whereby a modified proposal was discussed for the Coode Street location. As a result of this meeting, and a subsequent meeting held between the City and the colleges, an increased setback from the foreshore to the proposed boatshed and the provision of community benefit through a financial contribution were proposed.

City of South Perth

- 2.6 The City initially advised (see **Attachment 1C**) that it did not support the proposal (refer **Attachment 1B**), and recommended the application be refused based on the following:
 - The proposed development is inconsistent with South Perth Foreshore Strategy and Management Plan (SPFSMP) as it does not align with the Node N2 strategies or provide upgrades or additions to public facilities.
 - The proposed development is wholly inconsistent with the guiding principles of State Planning Policy 2.10 – Swan-Canning River System (SPP 2.10).
 - The proposed development does not satisfy the background requirements or implementation procedures of Development Control Policy 5.3 – Use of Land Reserved for Parks and Recreation (DCP 5.3).
 - The proposed development is inconsistent with Policy Outcome 7.7 of draft State Planning Policy 2.9 – Planning for Water (SPP 2.9).
 - The proposed development is more than twice the footprint of the existing building. In early pre-lodgement discussions between the City and the applicant, the proposed development was more modest in size. The proposal increased significantly in scale and the City provided comment that the scale was not consistent with the SPFSMP and that Node N10 (Ellam Street) would be more a suitable location for the proposed development.
 - One of the key findings of the *Perth Water Buneenboro Locality Plan* (August 2021) is that 'softer foreshore treatments – plantings, beaches etc. should be used instead of river walls and revetments where possible'. The existing river wall in the vicinity of the proposed Wesley / Penrhos boat shed is approaching end of life and consistent with Perth Water Buneenboro Locality Plan the existing wall is unlikely to be replaced like for like. A design consistent with more recent treatments along the riverbank such as beaches with intermittent groynes is preferred. A minimum of 15m offset from the existing river wall would be required to accommodate the replacement treatment.

- Community benefit has not been demonstrated in accordance with SPP 2.10 and DCP5.3. The City does not consider the proposed contributions to the public realm (public art, upgraded lighting, CCTV and initially verandah) are proportionate in offsetting the scale of the development proposed and the privatisation of the current public space.
 - It is further noted that reference is made in the report to a financial contribution made by Wesley College towards a 'Super Playground' within the reserve. The City advises that is not aware of any agreement nor does it support a financial contribution towards public infrastructure in lieu of providing public services/facilities on site as part of the development proposal.
- 2.7 The City also advised that the SPFSMP identifies Foreshore Node N10 (Ellam Street) as an area for expanded sport and recreation facilities and that consideration should be given to relocating the boatshed to this location.
- 2.8 The City considered the amended plans (see **Attachment 1A**) received on 9 February 2024 and provided a response to DBCA on 23 February 2024 confirming its recommendation for refusal. The City's comments are provided in **Attachment 1C**.
- 2.9 The City has informally advised that it supports the amended proposal dated 28 March 2024 as it addresses its concerns regarding foreshore setback and community benefit.

Department of Water and Environment Regulation

- 2.10 The Department of Water and Environment Regulation (DWER) advises that it has no objections to the proposal and provides the following advice:
- The available contour information shows that the surface elevation of the Lot is approximately 1.0m AHD and would currently be flooded in 1 in 10 AEP events.
 - The new shed is not considered an additional obstruction to major flows.
 - The proposal is considered a non-habitable development and may not require a high level of flood protection. DWER does not provide advice on the appropriate level of flood protection (floor level) for non-habitable developments and the local government should be contacted for advice on any minimum floor level requirements for this type of development.
- 2.11 DWER's comments are provided in **Attachment 1D**.

Department of Planning, Lands and Heritage – Land Management

- 2.12 The Department of Planning, Lands and Heritage (DPLH) – Land Management advises that it has no comments to provide but provides the following information:
- Lot 778 on Deposited Plan 163503 and Lot 780 on Deposited Plan 91394 being Reserve 24112 held in management by the City for the purpose of "Recreation Boat Shed".
 - Lot 11835 on Deposited Plan 240379 being Reserve 34565 held in management by the City for the purpose of "Recreation and Temporary Food and Beverage and other Entertainment Events".
 - Confirm that the identified parcels of land are within Reserves 24112 and 34565 and are both managed by the City. As such DPLH has no comments to provide.

2.13 DPLH – Land Management’s comments are provided in **Attachment 1D**.

Department of Planning, Lands and Heritage – Heritage Property Services

2.14 DPLH – Heritage Property Services advises that it has no objections to the proposal and provides the following advice:

- Sir James Mitchell Park has been considered as a place warranting assessment for possible entry in the State Register of Heritage Places; however, a full assessment of its cultural heritage significance has not yet been undertaken.

2.15 DPLH – Heritage Property Service’s comments are provided in **Attachment 1D**.

Department of Planning, Lands and Heritage – Aboriginal Heritage

2.16 DPLH – Aboriginal Heritage advises that it has no objections to the proposal and provides the following advice:

- The proposed project area does not intersect with any recorded Aboriginal Cultural Heritage (ACH), however, it is noted as being adjacent to ACH 00003536 (Swan River). This also does not preclude the possibility that previously unrecorded or unknown ACH exists at this location.
- In regard to the proposed boat house extension, if the ground disturbance is within a previously disturbed area and will not result in disturbance that is greater in height, depth or surface area to that which has already been disturbed, then this can be considered as an exempt activity within the proponent’s Due Diligence Assessment.
- If the proposed ground disturbance is within an area that has previously not been disturbed, then it is recommended that the proponent contact DPLH directly to discuss the appropriate way forward.

2.17 DPLH – Aboriginal Heritage’s comments are provided in **Attachment 1D**.

Department of Transport

2.18 The Department of Transport advises that it has no objection to the proposal as noted in **Attachment 1D**.

Public Submissions

2.19 DBCA received 608 submissions during the public notification period, with 548 submissions supporting the proposal, 56 submissions objecting to the proposal and 4 submissions undetermined.

2.20 Of the 548 submissions in support of the proposal, 276 (approximately 50%) of submissions were submitted in the same format, consisting of one line stating their support for the Wesley and Penrhos Boatshed development with no additional comments.

2.21 A summary of the comment themes raised in the submissions and DBCA’s response are provided in **Attachment 1E**.

3. PUBLIC CONSULTATION – SUBMISSIONS ON DRAFT REPORT

- 3.1 In accordance with the requirements of Part 5 of the SCRM Act, a copy of the draft report and proposed recommendations was provided to the applicant and the relevant stakeholders, being the City of South Perth. A copy was also published on the DBCA website for 14 days between 20 June and 5 July 2024, with an invitation for public submissions.
- 3.2 Twenty-nine submissions were received. Fourteen submissions objected to the proposal and 11 submissions expressed support for the proposal (see **Attachment 1F**). Three submissions were from Government agencies providing some additional information regarding the applicant's obligations and a submission was received from the City of South Perth (see **Attachment 1G**).
- 3.3 Generally, the submissions objecting to the proposed development raised similar points to earlier public submissions including:
- The removal of mature vegetation
 - No public benefit provided by the proposed development
 - Building bulk and height
 - Likelihood of the approval of the proposed development regardless of community opposition
- 3.4 Two new matters were raised by the submissions objecting to the proposal which are summarised as:
- The negative impact of the proposed development on the future all abilities regional playground and changing rooms that are to be constructed in the area
 - The \$300,000 community benefit contribution does not offset the impacts of the proposed development
- 3.5 The City of South Perth recommended approval of the proposal subject to a number of conditions and clarification that the following works will be undertaken at the expense of the Colleges:
- Works to be undertaken to the river wall adjacent to the development site
 - Remediation works to the existing location of the boat shed, including concrete pad, path infrastructure etc. once demolished
 - Installation of the continuous shared use path, connecting to the existing path network
 - Balance of shared use path network in proximity to the development will be appropriately removed and reinstated
 - Any other public infrastructure that requires relocating (e.g. reticulation)
- 3.6 The matters identified within the submissions are discussed in Section 7 of this report.

4. RELEVANT POLICIES AND PLANS

- State Planning Policy 2.10 – Swan-Canning River System (SPP 2.10)
- Draft State Planning Policy 2.9 – Planning for Water (SPP 2.9)

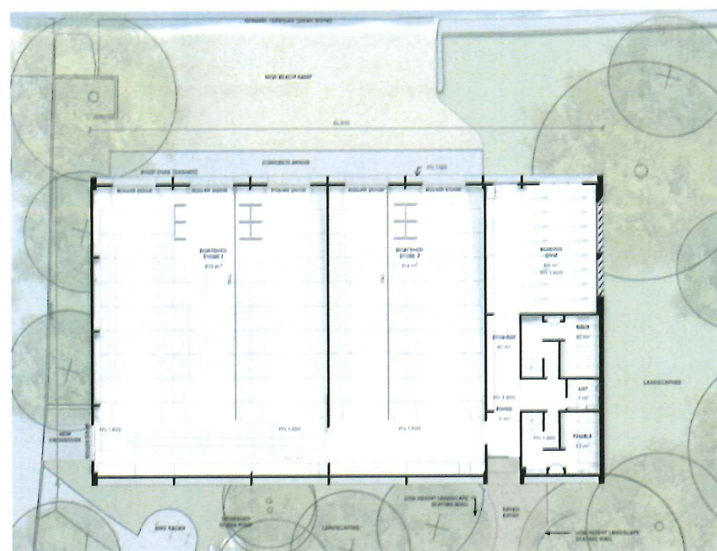
- Corporate Policy Statement No. 42 – Planning for Land Use, Development and Permitting Affecting the Swan Canning Development Control Area (Policy 42)
- Corporate Policy Statement No. 43 – Planning for marinas, yacht clubs and aquatic clubs in the Swan Canning Development Control Area (Policy 43)
- Corporate Policy Statement No. 49 – Planning for Stormwater Management Affecting the Swan Canning Development Control Area (Policy 49)
- Corporate Policy Statement No. 51 – Planning for Wastewater Management Affecting the Swan Canning Development Control Area (Policy 51)
- Perth Water (Buneenboro) Locality Plan (2021)
- South Perth Foreshore Strategy and Management Plan (2015)
- Development Control Policy 5.3 – Use of Land Reserved for Parks and Recreation (DCP5.3)
- Coode Street Foreshore – Engagement Outcomes Report (2022)

5. ENVIRONMENTAL AND PLANNING CONSIDERATIONS

- Environmental protection and ecological health
- Landscape character and visual amenity
- Public access and community benefit
- Stormwater management
- River wall and foreshore interface
- Future planning – Urban Rivers Catchment Program - Coode Street Node 2

6. BACKGROUND

- 6.1 The existing Wesley College Boatshed is located within the South Perth foreshore, adjacent to the Coode Street boat ramp and car park (**Figure 2**).



Floor Plan
DA 3 Revision B
Coode Street Boatshed Development Application February 2024



Figure 2: Demolition plan showing existing boatshed size and location

- 6.2 The existing boatshed has a floor area of approximately 450m² which includes three (3) roller doors for boat access, one (1) storage shed and a concrete ramp. The existing boatshed has a maximum wall height of 3.2m and a maximum overall height of 5m. The surrounding foreshore is comprised of limestone retaining walls, pedestrian pathways and mature vegetation.
- 6.3 The lease area for the existing boatshed incorporates two (2) lots, Lot 778 (115m²) and Lot 780 (348m²) and has a length of 20.25m along the foreshore.
- 6.4 The proposed development extends beyond the boundary of the existing lease area. Wesley College, as the lessee, will seek to update the existing lease with the City and DPLH as part of a separate process.
- 6.5 The proposed development includes the demolition of the existing Wesley Boatshed, retaining walls, pedestrian paths and removal of eight mature trees.
- 6.6 The proposed development (refer **Figure 3**) includes the construction of:
- a boatshed, consisting of five (5) roller door boat storage bays, 66m² rowing gym, kitchen, storage, toilet and changeroom facilities
 - removal of the concrete ramp, stabilisation with sand and retention of the existing river wall for an interim period
 - a new sewer pump station
 - improved vehicular access from the existing car park and
 - new landscaping, pedestrian pathways and the planting of 24 mature endemic trees.
- 6.7 The proposed boatshed increases the floor area of the building to 982m² (roof cover 1,103m²) and has a length of 42.97m.
- 6.8 The proposed boatshed will have a wall height of 5.51m and an overall height of 8.58m. The existing boatshed has an overall height of 5m. This represents an increase in the total height of the building of 3.58m.

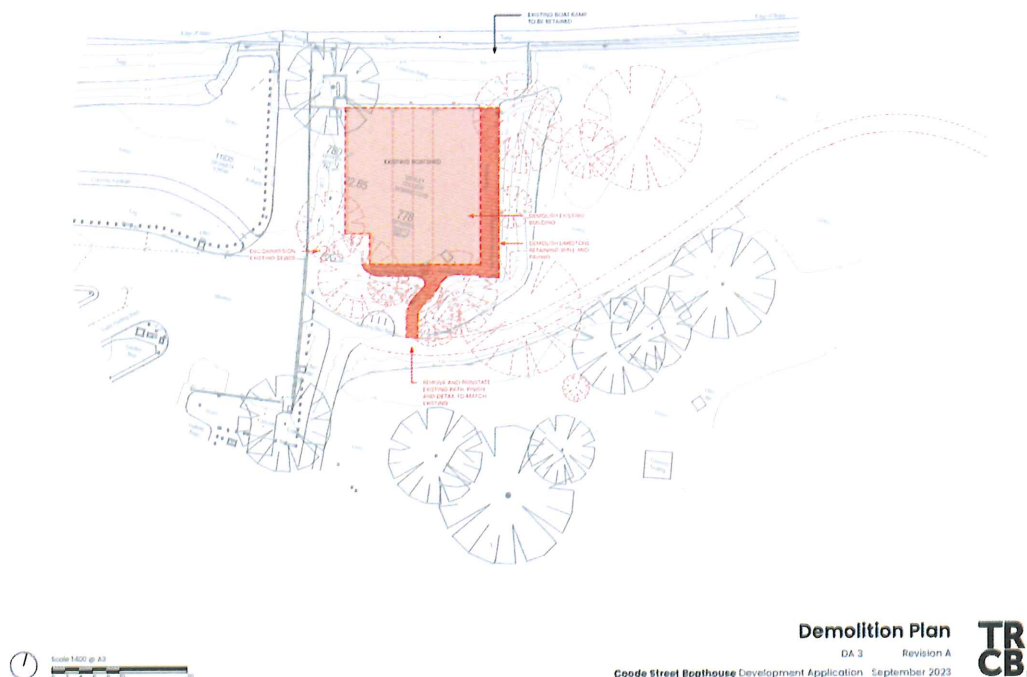


Figure 3: Floor plan showing internal layout of proposed boatshed (9 February 2024)

6.9 As part of later negotiations between DBCA, the colleges and the City regarding the consideration of amended plans, the setback of the proposed boatshed has been increased from 12.75m to 31m (refer **Figure 4**). The amended design includes relocation of the pedestrian access along the foreshore between the river and the proposed boatshed as well as planting around the site to soften the visual impact of the boatshed.

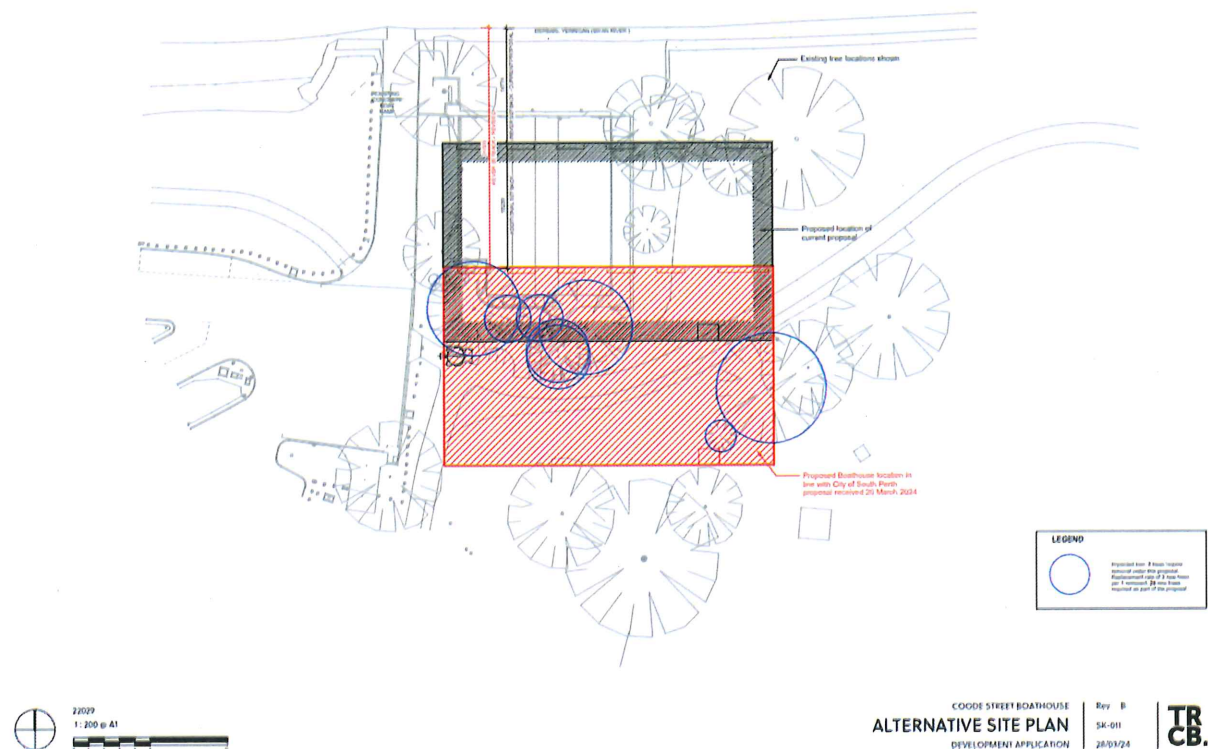


Figure 4: Amended site plan detailing foreshore setbacks (28 March 2024)

6.10 The boatshed is proposed to be constructed of hardwood cladding and metal roller doors for the walls, corrugated polycarbonate sheeting and colorbond metal roofing (shale grey) for the roof structure (refer **Figure 5**).

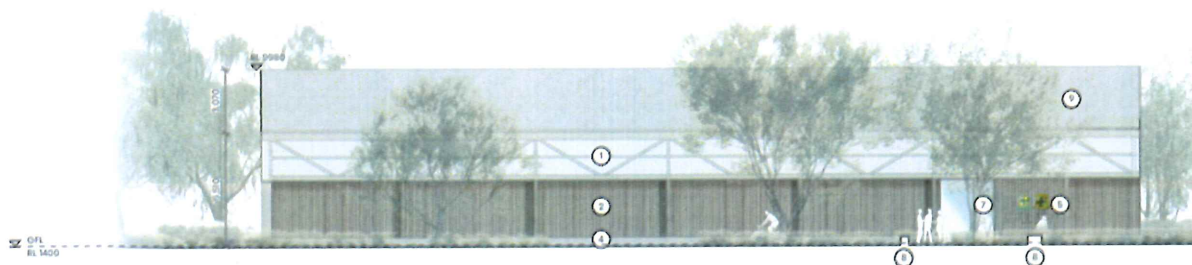


Figure 5: South elevation detailing proposed building materials (view from playground/family picnic area)

6.11 The purpose of the new boatshed is to enable the co-location of rowing facilities for both Wesley and Penrhos colleges.

6.12 The proposed boatshed will enable Wesley College to accommodate 120 students and 16 teachers on site at any one time and Penrhos College to accommodate 60 students and eight teachers.

City of South Perth Planning Framework

- 6.13 The proposed development is located within Foreshore Node N2 Coode Street (Node N2) of the SPFSMP. Node N2 is currently identified as a well utilised area with a family focus. The strategy for N2 is to develop the node as a better serviced family recreational space, with improved facilities, a choice of food and beverage outlets and a diversity of activities including all abilities playground, rowing, sailing, boat mooring and water play.
- 6.14 Relevant key strategies include upgrade of family recreation facilities (toilet, barbeques, shade), upgrade of playground facilities (water play, all ages and abilities), increased opportunities for water-based activities (rowing, sailing, boat mooring, water play), and upgrade of boat ramp and boating facilities.
- 6.15 The City has more recently undertaken engagement activities for the Coode Street Foreshore with the Outcomes Report produced in November 2022.
- 6.16 The purpose of the *Coode Street Foreshore Engagement Outcomes Report* was to validate, update and further explore the SPFSMP Node 2: Coode Street. Stakeholder and community engagement identified several key priorities including:
- maintaining the open feel of the parkland with its expansive grass areas, city vista and natural habitat
 - creation of accessible spaces for unstructured games, along with new play and exercise areas for all ages and abilities
 - improvement of waterfront access so visitors can enjoy, play and cool down by the river
 - improving amenity for visitors to eat, play and gather at the foreshore
 - integrate cultural interpretation in the natural environment
 - provide for more non-permanent food and beverage options
 - improve public transport connections and
 - redesign car park to provide more accessible parking and free up more of the riverfront area for recreation.
- 6.17 Node N10 (Ellam Street) in the SPFSMP includes the strategy N10.3 – Improve exercise, sport and recreation facilities, including fitness facilities, outdoor sporting infrastructure and water-based activities such as rowing.
- 6.18 The City has also applied for a grant as part of the Commonwealth's Urban Rivers and Catchments Program Round 2 to facilitate works to the value of approximately \$4.4 million. The concept plan prepared by the City is shown in **Attachment 1H**. The works implemented as part of the grant application will be directly impacted by the development application. The initial proposal submitted included a minimal setback to the river edge. This has since been increased to 31m. The greater setback ensures that the location of the proposed boatshed will not prejudice the future planning of the locality.

7. DISCUSSION

Environmental protection and ecological health

- 7.1 Policy 42 aims to ensure that land use and development on and adjacent to the river system maintains and enhances the quality and amenity of the river environment. The proposed development should be carefully undertaken to prevent detrimental impacts to the foreshore area.

- 7.2 Additionally, Policy 42 states that proposals should enhance and protect the character and landscape setting of the Swan Canning River system. Typically, proposals should protect tree lines and not dominate or overshadow public areas and views. Consideration should also be made, where appropriate, to enhance significant landmarks, views and vistas.
- 7.3 The proposed development includes the removal of existing mature vegetation, including eight mature trees. This has been substantially reduced from the initial proposal to remove 13 existing mature trees.
- 7.4 The increased setback of the proposed boatshed to 31m will result in the retention of fringing foreshore vegetation, in particular a mature *Corymbia citriodora* in fair condition.
- 7.5 As part of the submission of amended plans the Applicant has provided an Arborist Report. A copy of the Arborist Report is included in **Attachment 11**. This report supported the removal of nine trees. However, the number of trees to be removed has been revised down to eight trees with the increased setback to the proposed boatshed.
- 7.6 The City has advised that the amended plans received on 28 March 2024 should seek to minimise tree loss and consider the retention of an existing mature tree that has significant amenity value. Should this tree be retained the total number of trees to be removed would be seven.
- 7.7 While DBCA attempts to avoid the loss of significant vegetation, particularly trees of significant landscape, habitat or amenity value, any vegetation removed within the DCA is to be offset by planting at a minimum ratio of 3 to 1 with appropriate local native species. The proposed development includes the planting of 24 locally native trees to offset the removal of eight mature trees.
- 7.8 The trees proposed to be removed provide shade, cooling and habitat and enhance the quality and amenity of the river environment. However, the amended design has allowed for the retention of five trees within the foreshore area, three of which offer significant amenity value within the application area.
- 7.9 The City has also undertaken an assessment of the amenity value of the trees proposed to be removed using industry standard methodology with the estimated amenity value being \$1,067,744 (relative to the removal of 13 trees). This has been readjusted based on the removal of only eight trees, which has an estimated amenity value of \$534,293.
- 7.10 The proposed development includes landscaping and introduces 24 new trees, which will utilise 45L and 100L trees. New landscaping will include tree protection fences and, should new trees fail, replacement stock will be installed for a period of two planting seasons.
- 7.11 The Perth Water Buneenboro Locality Plan highlights the importance of the landscape responding to the natural landforms and vegetation complexes within the locality and creating a natural interface with the river as well as protecting and restoring the natural ecology of the river and the foreshore.
- 7.12 The proposed development includes a significant expansion of the existing rowing facility however, by increasing the setback to the foreshore and retaining existing mature fringing vegetation, the opportunity to enhance the natural attributes of the site and create a natural interface with the river is achievable.

- 7.13 SPP 2.10 states that fringing vegetation serves an important biological function and adds value to the river ecosystem. There is also a general presumption against the clearing of native and other vegetation within the river area unless otherwise determined by a precinct plan or if there is a demonstrated problem such as weed invasion. The protection and re-establishment of fringing riparian vegetation should be promoted as a means of stabilising riverbanks, providing wildlife habitat, intercepting nutrients, providing shade and improving river water quality.
- 7.14 Draft SPP 2.9 also requires that proposals protect vegetation coverage.
- 7.15 The proposed development removes less mature fringing vegetation than originally proposed. Typically, proposals should protect tree lines and enhance the character and landscape setting of the Swan Canning River System. The retained vegetation adds value to the river ecosystem and amenity of the river environment. Replacement planting (with 24 trees) provides an opportunity to re-establish endemic vegetation and enhance the character and landscape setting of the location.
- 7.16 The increased setback will also enable the City, in the future, to remove the existing river wall and install a softer foreshore interface. This will provide an opportunity to re-establish fringing riparian vegetation in this location and add value to the river ecosystem.

Landscape character and visual amenity

- 7.17 Policy 42 states that the design, materials and colour scheme of developments adjacent to the river and foreshores should complement and protect the character and landscape setting of the river.
- 7.18 SPP 2.10 requires that development proposals do not restrict or negatively impact on public views to or from the river, particularly from vantage points and ensure that the essential qualities that give the area its distinctive character are protected and enhanced.
- 7.19 With respect to landscape character and visual amenity, Policy 43 requires applications to demonstrate that landscape character and amenity values are protected and managed.
- 7.20 The increased setback of 31m from the river edge affords an opportunity for the boatshed to respect the landscape character of the location through the retention of views along the river's edge.
- 7.21 The retention of fringing vegetation and the siting of the building behind existing vegetation also assists in demonstrating how landscape character and amenity values will be maintained.
- 7.22 The proposed boatshed has been designed to facilitate the co-location of Wesley and Penrhos colleges rowing programs. The building size has been reduced by 7% through the removal of the verandah, however, the height of the proposed building remains at 8.48m to accommodate stacking of rowing boats.
- 7.23 The proposed building will have some visual amenity impact due to its design. This can be reduced through careful selection of materials and colour schemes to complement and protect the character and landscape setting of the river. A condition of approval will be required to address this matter.

Public access and community benefit

- 7.24 Policy 42 and SPP 2.10 require the proposed development to enhance the public's access to and enjoyment of the river.
- 7.25 Policy 43 requires applications to demonstrate that the application provides a public benefit and public access to the foreshore is not restricted.
- 7.26 Prior to lodgement of the Development Application, the City attempted to address the issue of public benefit with the applicant through the provision of facilities within the proposed building, including public toilets, changerooms and café. Given the nature of the building and its use by an educational group, which includes children, some facilities were not considered to be appropriate by the schools.
- 7.27 The Applicant states that the proposed development would continue to support the Coode Street activity node by improving facilities for both colleges, which in turn can lead to the viability of the node through increased patronage and use of the facility and that it would improve activation of the immediate area and provide usable and enjoyable public spaces that encourage active living.
- 7.28 The initial plans submitted by the Applicant included a verandah on eastern side of the building as a public benefit. It was also noted that public benefit included the provision of CCTV, lighting, landscaping (including replacement planting) and public art.
- 7.29 The City does not support the notion that the inclusion of landscaping which replaces existing established vegetation on site is a public benefit neither does it consider the inclusion of public art as an appropriate public benefit for the scale of the expansion of the existing building envelope and use of the reserve.
- 7.30 The initial items put forward by the Applicant as 'public benefit' are considered to be a minimum requirement under the planning framework and standard expected practice.
- 7.31 The amended plans removed the verandah as this was not considered to be a sufficient public benefit. The City also did not support the inclusion of a verandah as a public benefit as originally proposed in any instance and has no objection to the verandah being removed.
- 7.32 Discussions between DBCA, the colleges and the City in March 2024 resulted in the submission of a concept plan on 28 March 2024 that propose an increased setback of 31m to the proposed boatshed.
- 7.33 The increased setback will enhance the public's access to and enjoyment of the river in the Coode Street location. The location of a pedestrian path between the river and the boatshed will ensure that the broader community has direct access to the river and immediate foreshore. This is considered to be an improvement from the current situation where the existing boatshed restricts direct public access.
- 7.34 SPP 2.10 requires that any proposal for use or development within the public realm that may affect the river and its setting should demonstrate a benefit to the community that offsets any detrimental impacts on the environment.
- 7.35 SPP 2.10 also states that club facilities for water-based sports should only be permitted adjacent to the river where there is a demonstrated public benefit, public access to the river and its foreshore is not restricted, and membership of the club is open to all members of the community.

- 7.36 Development Control Policy 5.3 – Use of Reserve for Parks and Recreation (DCP5.3) and Regional Open Space specifies that there will be occasions when it may be appropriate to permit incorporated clubs, community groups and in some circumstances private business to locate on land reserved for Parks and Recreation. This may be appropriate provided the applicant demonstrates that:
- a) the nature and scale of the proposal is compatible with the use and zoning of surrounding land, the nature and purpose of the reserved land, and the environmental character of the location
 - b) there is a community need for the proposed facility in the proposed location
 - c) the community and the local government support the proposal
 - d) the proposal can be integrated with other planned facilities and sharing of facilities by more than one incorporated club, community group or private business and
 - e) the proposal is consistent with existing and/or proposed land use and management plans.
- 7.37 A policy measure of DCP5.3 states that the use and development of land reserved for Parks and Recreation or regional open space which would result in restrictions to public access, notwithstanding the possible benefit which could be derived from the use and development to the general community or to a specific educational or religious group within the community, will not be supported.
- 7.38 Policy Outcome 7.7 of draft SPP 2.9 – Planning for Water also states that proposals should, in accordance with the guidelines, maintain and enhance public access to and along the rivers and its foreshores. The amended plans are considered to enhance public access to and along the foreshore.
- 7.39 The facility will be used by a specific educational group and is not available for use by the general community. Based upon the policy framework this is a restriction to public access. However, considering both the increased river setback of the proposed boatshed; the removal of the poor condition existing boatshed; and provision of formal public access along the riverside of the proposed boatshed, it is evident that the proposed development can enhance the public's access to, and enjoyment of, the river.
- 7.40 The proposal offers a benefit to some members of the community by providing the opportunity to students of Wesley College and Penrhos College. Ongoing access to the River for recreational and sporting activities is actively encouraged subject to considerations of appropriateness of location, environmental impact and broader public access and enjoyment.
- 7.41 The limited public benefit provided by the proposed boatshed is intended to be offset by an offer by Wesley and Penrhos colleges to make a community benefit contribution of \$300,000 to be held in trust by the City and utilised in the future to undertake upgrades to Coode Street Node N2, as outlined within the SPFSMP (see **Attachment 1J**).
- 7.42 It is considered that the financial contribution (to be spent within the immediate area of the site), in combination with the improved community access achieved by setting the proposal further from the river edge and the recreational benefits provided to the school communities combine to provide an adequate public benefit in this instance.

River wall and foreshore interface

- 7.43 The existing boatshed is located adjacent to a concrete ramp and sections of river wall that are in poor condition and at end of life. The existing concrete ramp is likely to have a significant role in stabilising the foreshore and adjacent structures.

- 7.44 The original application and amended plans included a reduced setback to the river edge which was considered to restrict future opportunities for the City to remove the aging river wall and install a softer foreshore interface.
- 7.45 The amended plans received on 9 February 2024 also propose significant changes to the foreshore. While the changes are appropriate from a conceptual perspective, detailed design by a coastal engineer will be required.
- 7.46 The City has also progressed plans for the South Perth foreshore including lodging an application for the Commonwealth's Urban Rivers and Catchments Program Round 2. This includes the Coode Street Node N2 area as Stage 1. This plan proposes to remove the river wall in this location and install a softer foreshore interface with sandy beach areas and revegetated headlands.
- 7.47 The Applicant submitted an amended concept plan on 28 March 2024 that illustrated an increased setback of 31m to the proposed boatshed.
- 7.48 The increased setback will enable the future foreshore enhancement works to respond to the principles and objectives of Perth Water Buneenboro Locality Plan, SPP 2.10 and Policy 42. The City's aspirations to provide a softer foreshore interface that facilitates community access to the river along with providing greater environmental benefits can also be achieved with this design modification.

Wastewater management

- 7.49 Policy 51 indicates that the safe disposal of wastewater is necessary for the protection of public health and to minimise contributions of high nutrient loads in the Swan and Canning rivers. Where a reticulated sewerage scheme is provided, all development in the vicinity of the river system should be connected to the reticulated sewerage system.
- 7.50 The existing boatshed is currently serviced by a reticulated sewer connection which is proposed to be upgraded as part of the proposed development.

Stormwater management

- 7.51 Policy 49 generally requires stormwater runoff from constructed impervious surfaces generated by minor rainfall events (i.e. first 15mm) to be managed on site, or if the local government consents, connected to the local drainage system.
- 7.52 No details regarding stormwater management for the proposed building works have been provided, however the applicant has advised the building will incorporate rainwater harvesting to support new landscaping.
- 7.53 Additional impervious surfaces will be constructed for the proposed boatshed. It is recommended that the applicant submit final designs and drawings with detail of stormwater management demonstrating how stormwater run-off from impervious surfaces generated by small rainfall events (i.e. the first 15mm of rainfall) is being retained and/or detained at-source.

8. SWAN RIVER TRUST

- 8.1 In accordance with section 75(3A) of the SCRM Act, the Swan River Trust (the Trust) considered DBCA's draft report at its meeting of 23 April 2024. The Trust resolved to advise DBCA that it supports the report and recommendation of approval for Wesley and Penrhos Colleges Boatshed development application.

9. CONCLUSION

- 9.1 Policy 43 states that the development of aquatic clubs in the DCA should protect the ecological health, maintain and enhance long-term community use and enjoyment, and preserve the amenity of the Swan Canning river system.
- 9.2 The amended proposal, including the increased setback of 31m is sympathetic to the landscape character of the location and retains existing mature vegetation where possible. Although the proposed boatshed is significantly larger in floor area and height than the existing boatshed, impacts to visual amenity can be addressed through landscaping (including replacement tree planting), along with building materials and a colour scheme that complements the character and landscape setting of the river.
- 9.3 The applicant will be required to connect the site to the reticulated sewer system in accordance with Policy 51 and demonstrate appropriate stormwater management in accordance with Policy 49 before proceeding with any development.
- 9.4 Provided the works are carried out carefully to avoid impacts to the river and vegetation to be retained, and the final colours and finishes are of a high-quality architectural standard, the proposal is considered acceptable.
- 9.5 Although the proposed boatshed provides limited public benefit to the broader community, the community benefit contribution proposed by Wesley and Penrhos colleges will be able to deliver a positive community benefit within the immediate location of the development. Further, the increased setback of 31m to the proposed boatshed will enable greater direct public access and enjoyment of the river.
- 9.6 For these reasons, the proposal is recommended for approval, subject to conditions and advice.

10. RECOMMENDATION – APPROVAL

That the Director General of DBCA advises the Minister for Environment that the proposed boatshed for Wesley and Penrhos colleges on the South Perth Foreshore at Portion of Lot 11835 (Reserve 34565) and Lots 778 and 780 Coode Street, South Perth (Lot 778 on Plan 163503, Lot 780 on Plan 91394 & Lot 11835 on Plan 240379), as described in the application received on 27 September 2023, with amended plans dated 28 March 2024 following consultation between the Applicant, DBCA and the City be approved, subject to the following:

CONDITIONS

1. Approval to implement this decision is valid for two (2) years from the date of this approval. If substantial on-site works have not commenced within this period, a new approval will be required before commencing or completing the development.
2. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works (**Advice Note 1**).
3. All works are to be carried out in accordance with a Construction Environmental Management Plan as approved, prior to the commencement of works, on advice of the City of South Perth, by the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1 - 2**).

4. The cost of all works within the foreshore associated with the development, including the removal of the existing boatshed, retaining wall and concrete ramp, regrading of land from the proposed building to the river edge and installation of pathways are to be borne by the Applicant.
5. Prior to commencement of works, the applicant is to submit to and obtain approval in writing from the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth for final architectural drawings showing:
 - a. siting of the proposed development in proximity to vegetation and existing infrastructure
 - b. floor plans
 - c. elevation plans
 - d. schedule of colours, materials and finishes
 - e. visual render of the proposed building within the existing/proposed landscape setting, illustrating the retention of trees and the screening they provide
 - f. details of any proposed modification to the car parking area resulting from the proposed provision of vehicle access to boatshed
 - g. detailed engineering drawing showing the full extent of all foreshore works for example regraded river edge treatment (**Advice Note 3**).
6. Prior to commencement of works, a detailed Landscape Plan is to be submitted to and approved in writing by the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth to address the following:
 - a. hard and soft landscaping areas
 - b. the location, species and details of all trees and plants to be retained and removed
 - c. the size (both height and pot size) and number of new trees and plants to be planted
 - d. the location of any lawn areas to be established
 - e. reticulation details
 - f. details of any proposed vertical landscaping (**Advice Note 4**).
7. Prior to commencement of use, landscaping is to be installed and maintained in accordance with approved Landscape Plan, or any modifications approved thereto, to the satisfaction of the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth.
8. Replacement trees are to be planted at a rate of no less than three (3) for each tree removed and maintained to the requirements and satisfaction of the Department of Biodiversity, Conservation and Attractions on advice of the City of South Perth (**Advice Note 5**).
9. Prior to commencement of works, an external Lighting Plan demonstrating compliance with Australian Standard 4282 – Control of Obtrusive Effects of Outdoor Lighting must be submitted and approved in writing by the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth. The lighting is to be designed and located to prevent any increase in light spill onto the adjoining properties. Prior to occupation and use of the development, the lighting shall be installed in accordance with the approved plan and maintained thereafter to the satisfaction of the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth (**Advice Note 6**).
10. The development shall be connected to the reticulated sewerage system at the full cost of the applicant to the requirements and specifications of the Department of Biodiversity,

Conservation and Attractions on the advice of the City of South Perth and Water Corporation (**Advice Note 7**).

11. Stormwater run-off from constructed impervious surfaces generated by small rainfall events (i.e. the first 15 mm of rainfall) shall be retained and/or detained and treated (if required) at-source as much as practical and will not be permitted to enter the river untreated.
12. Prior to or in conjunction with the submission of a building permit application, the applicant shall provide a community benefit contribution of \$300,000 to be paid to the City of South Perth. This contribution is to be held by the City of South Perth and utilised for the upgrading of Coode Street Node 2 Area in accordance with the South Perth Foreshore Strategy and Management Plan (2015).
13. A tree protection zone (TPZ) in accordance with Australian Standard AS4970-2009 shall be implemented during demolition and construction for the trees retained within 50m of the development site and all trees proposed to be retained within the development site to the satisfaction of the Department of Biodiversity Conservation and Attractions on the advice of the City of South Perth (**Advice Note 8**).
14. Prior to commencement of works, the applicant is to submit plans demonstrating that external fixtures, such as air-conditioning infrastructure, shall be integrated into the design of the building so as to not be visually obtrusive when viewed from the reserve and adjoining public open space and to protect the visual amenity of residents in neighbouring properties, to the satisfaction of the Department of Biodiversity, Conservation and Attractions on the advice of the City of South Perth.

ADVICE NOTES

1. Notifications can be emailed to rivers.planning@dbca.wa.gov.au.
2. Regarding **Condition 3**, the Construction Environmental Management Plan (CEMP) should describe how the authorised works will be managed to minimise potential environmental impacts. Guidance for preparation of a CEMP is provided in [DBCA Guidance Note 6 – Construction Environmental Management Plans](#) (the PDF will download automatically) and <https://bit.ly/SCRMAPolicies>.
3. Regarding **Condition 5**, the selected colour scheme and finishes for the development should reflect the character and landscape setting naturally occurring in the locality of the Swan River and surrounding foreshore. The schedule should address:
 - a. details of external colours, building materials and finishes for the proposed buildings and structures
 - b. demonstrate that the selected materials and colour schemes are of low reflective standard and are sympathetic to the landscape setting, with minimal impact on the amenity of the area.
4. Regarding **Condition 6**, the Landscape Plan should include:
 - a. provision of a footpath on the river side of the building
 - b. the number of plants (and species) to be removed (noting that any native plants should be relocated where possible)
 - c. the location, planting densities and species composition (noting that appropriate local native species should be planted in riparian zones at a ratio of 500:50:5 herbs/sedges:shrubs:trees for each 100m²)


- d. weed control, including target species and any chemicals to be used, and its management within a water sensitive environment
 - e. stabilisation measures (e.g. matting type and extent of bioengineering solutions)
 - f. a reticulation plan, indicating type and location of sprinkler, bubbler, drippers and if bore or scheme water will be utilised
 - g. ongoing monitoring and maintenance program (being a minimum of 3 years).
5. Regarding **Condition 8**, the replacement trees must be:
- a. locally native and suited to the soil type of the area
 - b. at least 1.5m tall at the time of planting
 - c. located within the vicinity of the plant to be removed
 - d. maintained for 3 years and any trees that do not survive within this period shall be replaced no later than the next winter/spring planting season.
6. Regarding **Condition 9**, lighting should be designed to minimise light spill so that fauna, community enjoyment and visual amenity are not unacceptably affected. All lighting is to be consistent with the *National Light Pollution Guidelines for Wildlife* (Department of Climate Change, Energy, the Environment and Water, 2023). Further, light spill to the river and within habitat areas should be no more than 0.01-0.03 lux (moonlight), where possible, to ensure no adverse ecological consequences.

The Lighting Plan should address the following design principles:

- start with natural darkness and only add artificial light for specific and defined purposes
 - use adaptive controls (e.g. dimmers, timers, motion sensors etc.)
 - light only the intended object or area – keep lights close to the ground, directed and shielded
 - use non-reflective surfaces
 - use lights with reduced or filtered-out blue, violet and ultraviolet wavelengths.
7. Regarding **Condition 10**, the sewer pump station and supporting infrastructure required to connect the development to the reticulated sewer system is to be sized and made available to accommodate connection of a future change room and toilet facility which is to be constructed in the local area by the City of South Perth.
8. Regarding **Condition 13**, the Australian Standards specify the following measures are required to protect trees:
- a. A minimum 2.0m radius tree protection zone (TPZ) shall be provided through 1.8m high fencing around the verge trees (chain mesh panels or other suitable material) during construction of the subject development.
 - b. The above fencing is not to be moved or removed at any period during construction, and this zone is not to be entered for any reason; signage notifying people of the TPZ, and the associated requirements is to be placed on each side of the fencing.
 - c. All activities and works related to construction of the subject development, including parking of vehicles, storage of materials, and washing of concreting tools and equipment is prohibited within the designated TPZ unless prior approval is sought from the City of South Perth.
 - d. Any roots identified to be pruned shall be pruned with a final cut to undamaged wood outside of the TPZ. Pruning cuts shall be made with sharp tools such as secateurs, pruners, handsaws or chainsaws. Pruning wounds shall not be treated with dressings or paints. It is not acceptable for roots to be 'pruned' with machinery such as backhoes or excavators.

9. Note that it is an offence under the Swan and Canning Rivers Management Regulations 2007 to destroy, pull up, cut back or injure any tree, shrub or perennial plant that is on land within the Swan Canning Development Control Area, except with the prior approval of the Department of Biodiversity, Conservation and Attractions.

FINAL REPORT ENDORSED

Signed:  _____

Date: 16/7/24

Stuart Smith

Director General, Chief Executive Officer