

Swan and Canning Rivers Management Act 2006

PART 5

DETERMINATION OF DEVELOPMENT APPLICATION

FILE NUMBER : 2017/4737
APPLICANT : Swan Canoe Club Inc
APPLICANT'S ADDRESS : Attn: Peter Ewing
PO Box 99
Cottesloe WA 66911
LANDOWNER : State of Western Australia (vested with the Town of Mosman
Park);
State of Western Australia (vested with the Swan River Trust)
LAND DESCRIPTION : Lot 672 (R1634) and Lot 676 (R8369) on Plan 219932,
Johnson Parade, Mosman Park; Lot 300 on Plan 47450 (River
Reserve 48325).
DEVELOPMENT : Ramp construction
VALID FORM 1 RECEIVED : 10 October 2017
DETERMINATION : **APPROVAL WITH CONDITIONS**

The application to commence development in accordance with the information received on 10 October 2017 is APPROVED subject to the following conditions:

1. Approval to implement this decision is valid for two (2) years from the date of the approval. If the development has not been substantially commenced within this period, a new approval will be required before commencing or completing the development.

Prior to the commencement of works

2. Prior to the commencement of works or any development being undertaken on the site, the applicant shall submit to the Department of Biodiversity, Conservation and Attractions, and secure approval for, final designs for any proposed erosion control works.

The following designs/drawings are required:

- a. detailed engineering drawings showing the exact location of any erosion treatments; and
 - b. the final design specifications of the treatments.
3. Prior to the commencement of works or any development being undertaken on the site, the applicant shall submit a Construction and Environmental Management Plan for approval to the Department of Biodiversity, Conservation and Attractions, on advice from the Town of Mosman Park (Advice Notes 2, 3 and 4).

The Construction Environmental Management Plan shall describe how the proposed works will be managed to minimise environmental impacts and shall address, unless otherwise agreed in writing:

- a. a detailed work method statement including machinery and equipment required to undertake the works;
- b. site layout plan - including storage of materials, machinery, equipment, chemicals and fuels (including an aerial photograph with locations marked);
- c. excavation and stockpiling of materials/soils (sand, soil, and any other finely grained material that is exposed or stockpiled on site shall be managed to prevent sediment mobilisation and discharge into the Swan River);
- d. protection of the waterway from inputs of deleterious matter;
- e. sediment and turbidity management;
- f. erosion control;
- g. protection of vegetation (including tree protection zones where required);
- h. waste management;
- i. public access and safety;
- j. site and vehicle access;
- k. details and location of all temporary structures (hording, signage, fencing, lay down areas etc.);
- l. hours of operation, timeframes and responsibility for tasks identified;
- m. complaints and incident reporting and contingency measures;

All incidents of pollution or spills within the Swan Canning Development Control Area shall be reported immediately to the Department of Biodiversity, Conservation and Attractions, on 9278 0900 or a/h 0419 192 845.

4. The applicant shall ensure that all contractors and personnel involved in the works, activities, operations and/or development approved by the Department of Biodiversity, Conservation and Attractions are familiar with the conditions and requirements of this approval at all times.
5. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works (Advice Note 5).

During works

6. The works shall take place in accordance with the approved plans unless modified by a condition of this approval.

On completion of works

7. The applicant shall notify the Department of Biodiversity, Conservation and Attractions within seven (7) days of the completion of works that the works have ceased.
8. Within 14 days of the completion of the works, the applicant shall remove all waste material, equipment and machinery and ensure that the site is cleaned-up to the satisfaction of the Department of Biodiversity, Conservation and Attractions.

ADVICE TO APPLICANT

1. The applicant is advised that the amendment to the Swan Canoe Club Inc's lease area within the Town of Mosman Park shall be finalised prior to submission of a building permit.
2. In regard to Condition 3, the Construction Environmental Management must be approved prior to applying for a building permit from the Town of Mosman Park.

3. In regard to Condition 3, the use of a silt curtain is recommended. The silt curtain should be installed in a manner that contains turbidity and prevents sediment plumes from moving outside the immediate area of work. The silt curtain is to be checked regularly to ensure it is correctly attached and performing as intended.
4. In regard to Condition 3, any verge tree likely to be affected by the development shall be protected to the satisfaction of the Town of Mosman Park in accordance with Council Policy 2.2.7 Street Trees.
5. Notification of commencement of work and submission of plans required as a condition of this approval can be emailed to rivers.planning@dbca.wa.gov.au.
6. The applicant is advised that stormwater collected on the subject land shall be managed by suitable means to the satisfaction of the Town of Mosman Park.
7. The applicant is required to apply for and obtain a jetty modification licence from the Department of Transport, Coastal Facilities Management.
8. In regard to marine safety, the applicant is advised to ensure that any on-water operations or activities associated with the ramp extension are conducted in accordance with the relevant marine legislative provisions.
9. The applicant is advised that this approval does not negate the need to obtain any other approval from relevant agencies, or from the Department of Biodiversity, Conservation and Attractions.



Hon Stephen Dawson MLC
MINISTER FOR ENVIRONMENT

Date: 21/4/18

DEPARTMENT OF BIODIVERSITY, CONSERVATION AND ATTRACTIONS REPORT

PROPOSAL : Ramp construction
LOCATION : Lot 672 (R1634) and Lot 676 (R8369) on Plan 219932, Johnson Parade, Mosman Park; Lot 300 on Plan 47450 (River Reserve 48325).
APPLICANT : Swan Canoe Club Inc
LANDOWNER : State of Western Australia (vested with Town of Mosman Park);
State of Western Australia (vested with Swan River Trust)
LOCAL GOVERNMENT : Town of Mosman Park
MRS CLASSIFICATION : Parks and Recreation; Waterways
LG CLASSIFICATION : No zoning
DECISION TYPE : Part 5, *Swan Canning Rivers Management Act 2006*
ATTACHMENTS : 1. Location plan
2. Site plan
3. Proposed Plans, Sections and Elevations
4. Town of Mosman Park's referral response
5. Department of Planning, Lands and Heritage, Aboriginal Heritage Directorate referral response
6. Photograph of existing concrete and floating ramps
7. Photograph of replacement sandbags
RECOMMENDATION : **APPROVAL WITH CONDITIONS**

REPORT

1.0 INTRODUCTION

- 1.1 The Department of Biodiversity, Conservation and Attractions (DBCA) has received an application from the Swan Canoe Club Inc (the Club) to construct a ramp at its clubhouse to link the existing concrete path and floating canoe launching ramp. The proposed development intersects Lot 672 (R1634) and Lot 676 (R8369) on Plan 219932, Johnson Parade, Mosman Park; and the Swan River at Mosman Bay (Lot 300 on Plan 47450; River Reserve 48325) (**Attachments 1, 2 and 3**). Lots 672 and 676 are reserved for Parks and Recreation and Lot 300 is reserved for Waterways under the Metropolitan Region Scheme.
- 1.2 The fixed ramp will improve launching facilities and access to the foreshore from the clubhouse, addressing a safety risk to club members.
- 1.3 The proposed development is to occur wholly within the Swan Canning Development Control Area (DCA) and extends outside of the Club's current lease

area. Therefore, the works requires approval under Part 5 of the *Swan and Canning Rivers Management Act 2006* (SCRM Act).

- 1.4 The Director General of DBCA has prepared this draft report in accordance with section 75 of the SCRM Act.

2.0 CONSULTATION

Town of Mosman Park

- 2.1 The Town of Mosman Park (the Town) advise that the ramp will require an amendment to the Club's lease of Town managed land.

- 2.2 The Town is supportive of the proposal, subject to the following conditions:

- The Club's lease area is amended with the Town prior to submission of a building permit.
- A Construction Management Plan, that details how the construction of the ramp will be managed to minimise the impact on the surrounding area, shall be submitted and approved by the Town prior to the Club making an application for a building permit.

Construction on the site shall comply with the approved Construction Management Plan.

- All stormwater collected on the subject land shall be retained on site, by suitable means to the satisfaction of the Town.
- No trees shall be removed or damaged, including unauthorised pruning, and any verge tree likely to be affected by the development shall be protected to the satisfaction of the Town in accordance with Council Policy 2.2.7 Street Trees.

- 2.3 The Town's full comments are at **Attachment 4**.

Department of Transport – Marine Safety

- 2.4 The Department of Transport (DoT) Marine Safety branch has no objection to the proposal from a navigational perspective provided:

- Any on-water operations or activities associated with the ramp extension are conducted in accordance with the relevant marine legislative provisions.

Department of Transport – Maritime Planning

- 2.5 DoT Maritime Planning branch has no in-principle objection to the proposal, subject to the following issues being addressed prior to works commencing:

- The proponent is required to apply for and obtain a modification licence from DoT, Coastal Facilities Management.

Department of Water and Environmental Regulation – Land Use Planning

- 2.6 The Department of Water and Environmental Regulation has no objection to the proposed ramp from a floodplain management perspective.

Department of Lands, Planning and Heritage – Aboriginal Heritage Directorate

- 2.7 The Aboriginal Heritage Directorate (AHD) advise that the proposed ramp intersects Aboriginal Site ID 3536 (Swan River).

- 2.8 AHD advise that the works are consistent with the consent issued under section 18 of the *Aboriginal Heritage Act 1972* to undertake activities including the construction of a ramp provided by the Minister for Indigenous Affairs dated 10 August 2011.

2.9 AHD's full comments are at **Attachment 5**.

3.0 PUBLIC COMMENT – SUBMISSIONS ON DRAFT REPORT

3.1 In accordance with the requirements of Part 5 of the SCRM Act a copy of the draft report and proposed recommendation has been provided to the applicant, the Town and other referral agencies. A copy was also published on the DBCA website for a period of two (2) weeks between 28 February 2018 and 14 March 2018 with an invitation for public submissions.

3.2 No submissions were received.

4.0 RELEVANT POLICIES AND PLANS

- ◆ State Planning Policy 2.10 - *Swan-Canning River System* (SPP 2.10)
- ◆ Corporate Policy 42 – *Planning for land use, development and permitting affecting the Swan Canning Development Control Area* (Policy 42)
- ◆ Corporate Policy 44 – *Planning for jetties in the Swan Canning Development Control Area* (Policy 44)

5.0 ENVIRONMENTAL AND PLANNING CONSIDERATIONS

- ◆ Water Quality
- ◆ Stormwater
- ◆ Boat ramp design
- ◆ Visual Amenity

6.0 BACKGROUND

- 6.1 In 2013 the Club received approval to remove a failing timber ramp on the eastern side of the clubhouse and replace it with a floating ramp.
- 6.2 This application proposes to install a new fixed ramp (with a similar look to the floating ramp) and a concrete slab, designed to link the existing concrete path on and floating canoe launching ramp (**Attachment 3**). The proposal aims to address safety risks to club members accessing the foreshore from the clubhouse.
- 6.3 The new ramp will be approximately 25.5m² and includes a steel frame with 6 posts set in concrete footings and a fibre reinforced plastic (FRP) mesh deck. Additionally, a new triangular shaped concrete slab approximately 6.8m² is proposed between the existing concrete path and new FRP ramp. The western edge of the FRP ramp will be fixed to the concrete slab.
- 6.4 The total cost of these works is expected to be \$20,000.
- 6.5 The Club received a Lottewest Grant of \$53,464 in September 2016 for disability access improvements to the club facilities. A portion of this grant will be used for the proposed ramp to facilitate the launching of specialised disability kayaks.
- 6.6 On 22 November 2017 DBCA officers attended the site and noted that the sandy foreshore in front of the clubhouse was susceptible to erosion. There were signs of scour along the concrete footing of the clubhouse and erosion around a concrete step used to access the beach, posing a risk to public safety (**Attachment 6**).
- 6.7 The Club had strategically placed plastic sand bags on the foreshore to protect its infrastructure and retain sand on the beach area in front of the clubhouse. However, the plastic sand bags appeared to have been in place for some time and were breaking down and not adequately addressing the erosion issue.

- 6.8 DBCA officers recommended that the Club seek engineering advice to ensure the footings of the new ramp will not be subject to erosion, including developing plans and details of any proposal to replace the sand bags. It was advised that details of the erosion control works could be submitted to DBCA for consideration with this development application.
- 6.9 On 14 January 2018, DBCA received notification from the Club that the plastic sand bags had been removed and replaced (**Attachment 7**). Whilst replacing the plastic sand bags has removed the threat of plastic pieces entering the river, the Club has been notified that the works were unauthorised and reminded of its obligations under the *SCRM Act 2006* and Swan and Canning Rivers Management Regulations 2007.

7.0 DISCUSSION

Water quality

- 7.1 Policy 42 aims to ensure that land use and development on and adjacent to the river system maintains and enhances the quality and amenity of the river environment.
- 7.2 The proposed works will include minor excavation for the installation of the ramp footings and concrete works. The construction works have the potential to mobilise fine sediments in the river resulting in plumes or turbidity.
- 7.3 To ensure all potential impacts are identified and managed appropriately, it is recommended that a Construction Environmental Management Plan (CEMP) be required as a condition of approval. The CEMP can be required to include details of sediment/turbidity management, protection of water quality, management of machinery and equipment (including refuelling), public access and safety, construction methodology, waste management and spill response. The protection of the river environment can be further reinforced through conditions of approval.

Jetty design

- 7.4 Policy 44 recognises that appropriately designed and located public boating facilities such as jetties and boat ramps, form an integral part of the river system setting and are an important recreational and tourist resource.
- 7.5 Policy 44 also seeks to ensure that the boat ramp design is safe for public use. The Club has provided construction plans for the proposed ramp prepared by a qualified marine engineer.
- 7.6 The applicant will be required to apply for and obtain a modification to its jetty licence, as advised by DoT.
- 7.7 The Club is seeking engineering advice to ensure that the footings of the proposed ramp will be protected from erosion. Endorsement of final plans for any necessary erosion control works can be addressed through a condition of this approval.

Visual amenity

- 7.8 SPP 2.10 and Policy 42 aims to ensure that activities, land use and development maintain and enhance the health, amenity and landscape values of the river, including its recreational and scenic value. This proposal seeks to improve the functionality of the Club's facilities so that all members, including those with disabilities, have safe access to the foreshore and river to launch vessels.
- 7.9 The proposed FRP and concrete ramps are visually screened from the foreshore by the existing clubhouse however the structure will be visible from the river. The Club has advised that the materials and colour scheme of the proposed FRP deck will

match the floating ramp existing on the site. Therefore, the proposal is not expected to adversely impact on the visual amenity of the local area.

8.0 SWAN RIVER TRUST ADVICE

8.1 In accordance with section 75(3A) of the SCRM Act, the Trust considered the draft report at an informal meeting on 13 February 2018, where the Trust resolved to support the report and recommendations.

9.0 CONCLUSION

9.1 The proposed ramp from the clubhouse to the foreshore is an extension of the existing ramp facilities and in keeping with the use of the site as a rowing club. The proposal seeks to improve functionality and accessibility of the club through improved launching facilities and improved safety.

9.2 Potential environmental impacts from the proposed works can be addressed through the preparation and implementation of a CEMP required as a condition of approval.

9.3 For these reasons, the proposal can be recommended for approval, subject to appropriate conditions and advice.

10.0 RECOMMENDATION – APPROVAL WITH CONDITIONS

That the Director General of DBCA advises the Minister for Environment that the Swan Canoe Club Inc's proposal to install a new ramp on Lot 672 (R1634) and Lot 676 (R8369) on Plan 219932, Johnson Parade, Mosman Park; and the Swan River at Mosman Bay (Lot 300 on Plan 47450; River Reserve 48325), as described in the application received on 10 October 2017, be approved subject to the following conditions:

1. Approval to implement this decision is valid for two (2) years from the date of this approval. If the subject development is not substantially commenced within the 2 year period, the approval shall lapse and be of no further effect.

Prior to the commencement of works

2. Prior to the commencement of works or any development being undertaken on the site, the applicant shall submit to the Department of Biodiversity, Conservation and Attractions, and secure approval for, final designs for any proposed erosion control works.

The following designs/drawings are required:

- a. detailed engineering drawings showing the exact location of any erosion treatments; and
 - b. the final design specifications of the treatments.
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- g. protection of vegetation (including tree protection zones where required);
- h. waste management;
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- m. complaints and incident reporting and contingency measures;

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- 5. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works (Advice Note 5).

During works

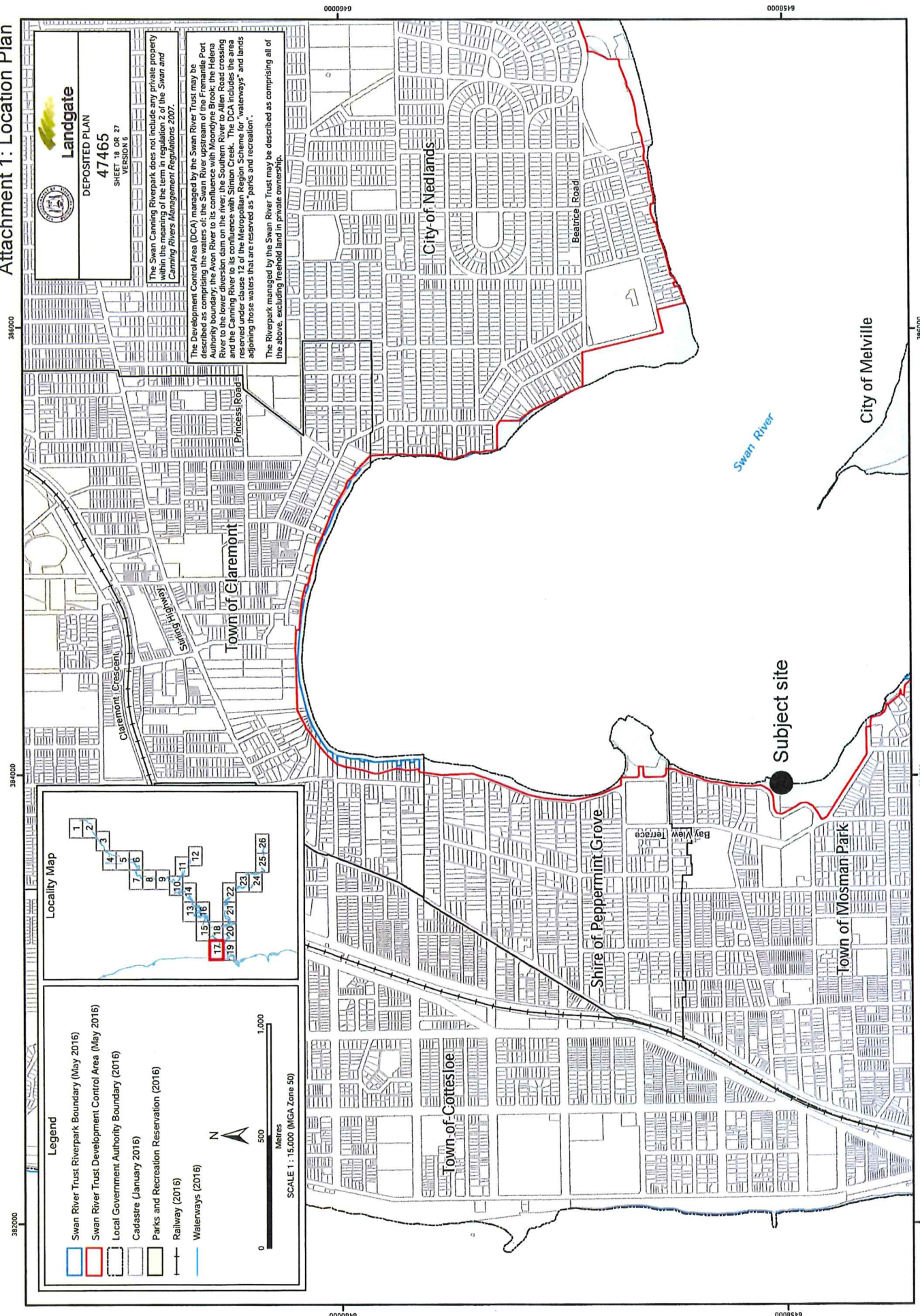
- 6. The works shall take place in accordance with the approved plans unless modified by a condition of this approval.

On completion of works

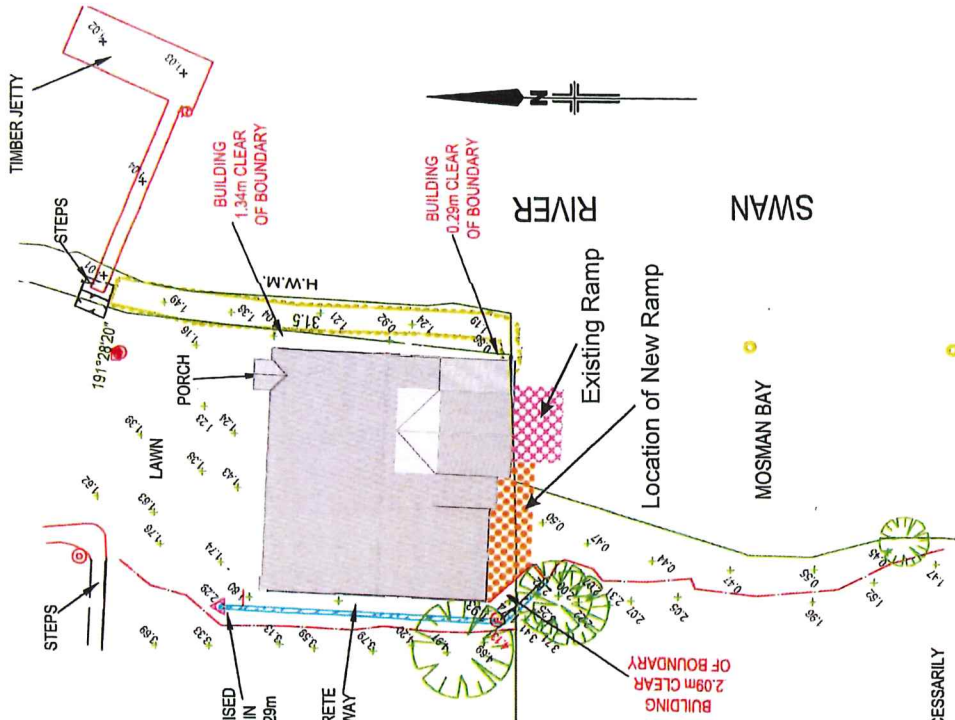
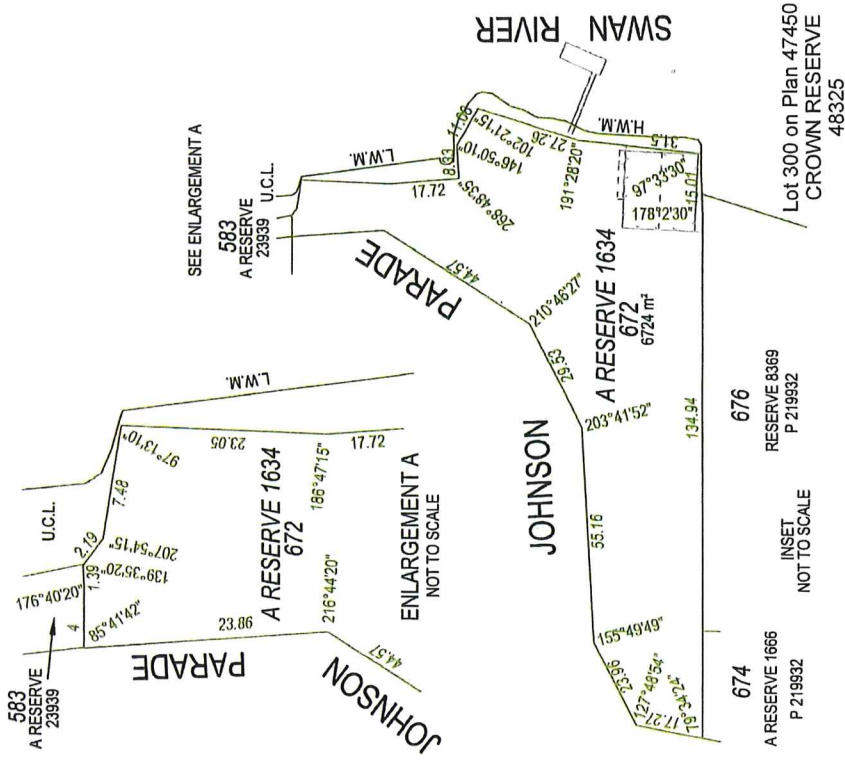
- 7. The applicant shall notify the Department of Biodiversity, Conservation and Attractions within seven (7) days of the completion of works that the works have ceased.
- 8. Within 14 days of the completion of the works, the applicant shall remove all waste material, equipment and machinery and ensure that the site is cleaned-up to the satisfaction of the Department of Biodiversity, Conservation and Attractions.

ADVICE TO APPLICANT

- 1. The applicant is advised that the amendment to the Swan Canoe Club Inc's lease area within the Town of Mosman Park shall be finalised prior to submission of a building permit.
- 2. In regard to Condition 3, the Construction Environmental Management must be approved prior to applying for a building permit from the Town of Mosman Park.
- 3. In regard to Condition 3, the use of a silt curtain is recommended. The silt curtain should be installed in a manner that contains turbidity and prevents sediment plumes from moving outside the immediate area of work. The silt curtain is to be checked regularly to ensure it is correctly attached and performing as intended.



Attachment 2 - Site plan



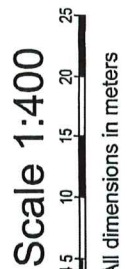
LEGEND OF FEATURES

- BOUNDARY
- LIMESTONE ROCK WALL
- BRICK PAVING
- LIMESTONE RETAINING WALL
- FOOTPATH
- STEPS/STAIRS
- HAND RAIL
- BOTTOM OF BANK
- EDGE OF CONCRETE
- LEVEL OF CONCRETE STEP
- NATURAL SURFACE
- DECK LEVEL
- HIGH MASTER LIGHT
- ELECTRIC METER BOX
- TEMPORARY BENCH MARK
- CONCRETE PYLON
- LIGHT POLE
- POWER POLE
- HIGH WATER MARK
- LOW WATER MARK
- UNALLOCATED CROWN LAND

- TBM GALVANISED IRON NAIL IN WALL R.L. 2.29m
- CONCRETE PATHWAY

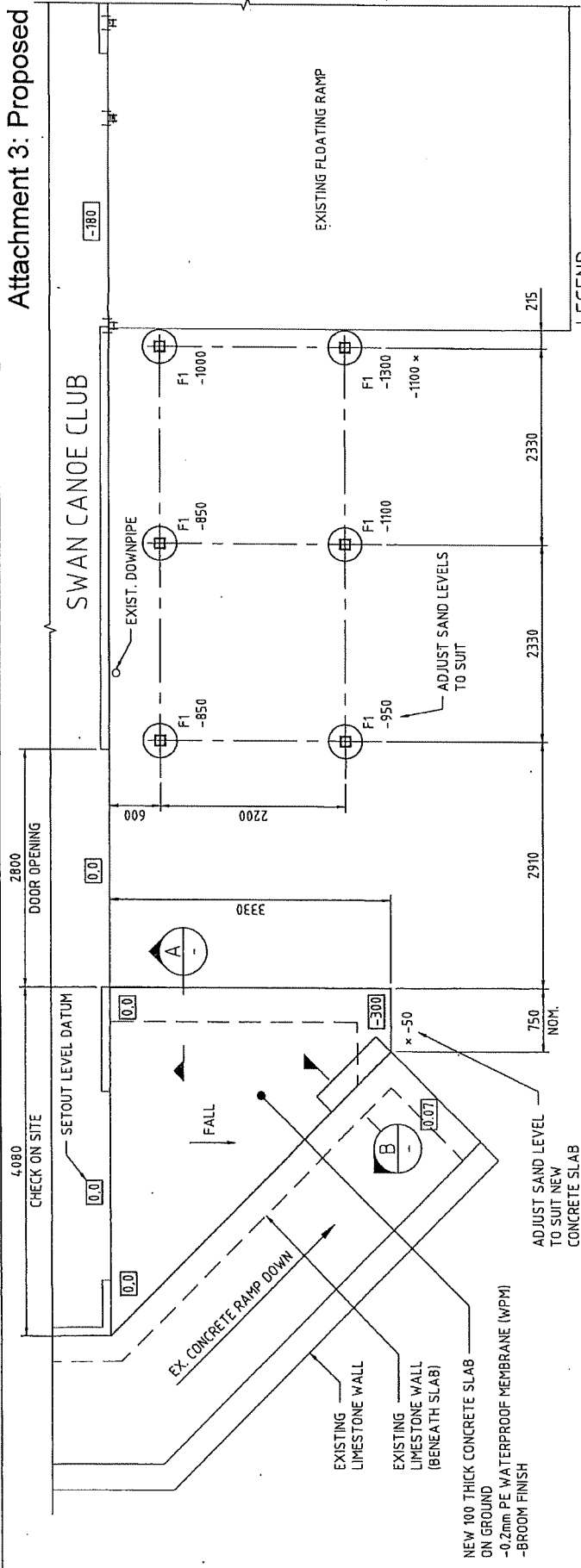
- H.W.M.
- L.W.M.
- U.C.L.

NOTES:
 1. BOUNDARY RE-ESTABLISHED FROM CADASTRAL SURVEY.
 2. HEIGHTS ESTABLISHED FROM SSM MELVILLE 44 R.L. 28.836m VIA EDM TRAVERSE
 3. WATERLINE SHOWN TAKEN FROM SCBD DATA DOES NOT NECESSARILY DEPICT AN EXACT CADASTRAL BOUNDARY.



Site Map for New Ramp 2017 Swan Canoe Club - v2

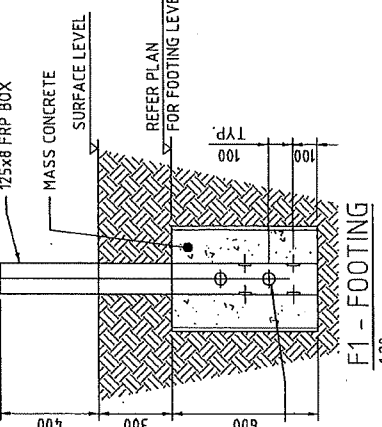
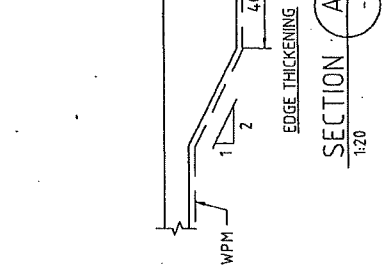
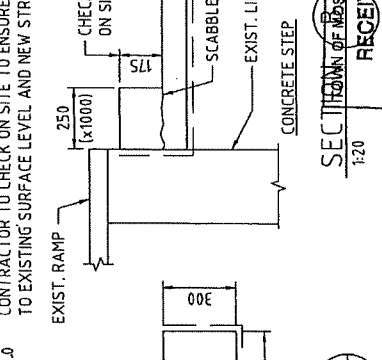
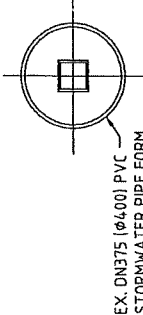
Attachment 3: Proposed Plans



LEGEND:
 [0.0] EXISTING CONCRETE LEVEL
 [-300] NEW CONCRETE LEVEL
 * -1100 EXISTING SURFACE LEVEL
 F1 NEW INDICATIVE FOOTING LEVEL.
 -1.0 CONTRACTOR TO CHECK ON SITE TO ENSURE LEVELS FIT TO EXISTING SURFACE LEVEL AND NEW STRUCTURE.

FOOTING INSTALLATION GUIDE:

- PUSH OR DIG PIPE INTO SAND
- ASSIST USING WATER JET BLAST AND/OR SNORKEL TO REMOVE SAND
- ONCE PIPE IS AT CORRECT LEVEL PUMP DRY AND POUR CONCRETE AT LOW TIDE



GENERAL NOTES:

- LEVELS SHOWN ARE FROM DATUM OF SWAN CANOE CLUB CONCRETE FLOOR (1.7m CD) AND ARE IN MILLIMETERS (mm).
- CHECK WITH CANOE CLUB REPRESENTATIVE FOR ANY OTHER EXISTING UNDERGROUND SERVICES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND SERVICES.
- CLASE WITH ENGINEER IF ANY LEVELS OR DIMENSIONS ARE SIGNIFICANTLY DIFFERENT ON SITE.
- CONTRACTOR TO TAKE CARE EXCAVATING ADJACENT TO EXISTING STRUCTURES TO ENSURE NO UNDERMINING OCCURS.

CONCRETE NOTES:

- ALL CONCRETE TO AS3600, AND AS3610 (FORMWORK).
- BENDING SCHEDULES, POUR SEQUENCES, FORMWORK, CONSTRUCTION JOINTS, BAR CHAIRS, CURING DETAILS, CONCRETE TEST DATA, SUPPLIER DATA AND STRESSING RECORDS TO BE SUBMITTED TO ENGINEER FOR APPROVAL.
- CONCRETE SPECIFICATION:
 MIN STRENGTH FC 25MPa
 MAX WATER/CEMENT 0.55
 MIN CEMENT OPC 300kg/m³
 SLUMP 100mm/-20mm
 AGGREGATE 20mm
- ALL CONCRETE TO BE WATER CURED FOR 7 DAYS.
- SIDE FORMS SHALL BE STRIPPED AFTER 3 DAYS AND SOFFIT FORMS AFTER 7 DAYS.
- ALL EXPOSED EDGES TO HAVE 20mm FLEETS.
- SLAB SURFACES TO HAVE A BROOK FINISH UNO.

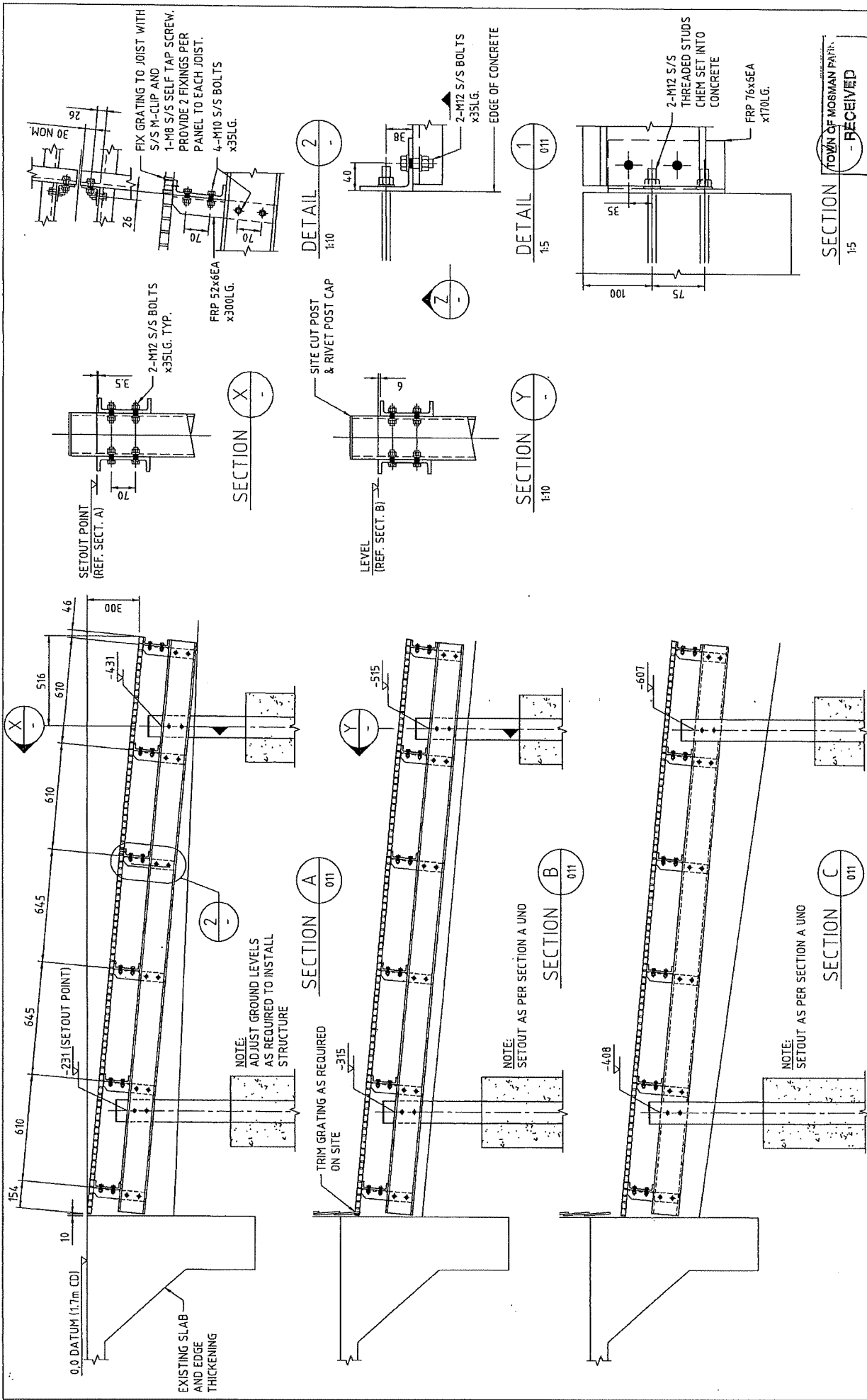
SECTION A-A
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SECTION B-B
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F1 - FOOTING
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TYP. EACH SIDE
(STAGGERED)

		ROAM MARINE Z MARINE PTY LTD SUITE 31 CROSSWAYS OUR ROBEY & BAGOT RD 1000 BIRCHDALE TEL: 081 949 1991 WWW.ROAMMARINE.COM	DESIGN: MH DATE: 29.03.2016 APPR: [] DATE: [] DRAWING: RE DATE: 01.05.2017	SWAN CANOE CLUB NEW DECK CONCRETE PLAN & DETAILS	DOCUMENT NO: ICR944709
REFERENCE DRAWINGS 0 ISSUED FOR CONSTRUCTION REV BY DATE	REVISION RE 13.06.2017	SCALE: (A3) 1:50 UNO	DWG. NO. ZJ1115-DWG-010	REV. 0	01 AUG 2017



		ROAM MARINE <small>Z MARINE PTY LTD SUITE 3/8 CROSSWAYS, CNR RONEY & BAGOT RD GARDNER WA 6100 AUSTRALIA TEL: 08 9497 9999 FAX: 08 9497 9998 WWW.ROAMMARINE.COM</small>		DESIGN: MH APPR: DRAWN: RE	DATE: 29.03.2016 DATE: DATE: 01.05.2017	SWAN CANOE CLUB NEW DECK DECK SECTIONS	01 AUG 2017 DOCUMENT No: 1CR94769	SCALE: (A3) 1:20 UNO ROAM MARINE DWG. No. ZJ1115-DWG-012	REV. 0
0	ISSUED FOR CONSTRUCTION	RE	13.06.2017						
	REVISION	BY	DATE						
	REFERENCE DRAWINGS								

SECTION 1:5
 TOWN OF MORIMAN PATRI
 - RECEIVED

"Between River and Sea"



Our Ref: 2631.2/ICR94709

LP/GP

Enquiries to: Mr Luke Pickersgill

10 October 2017

Statutory Planning
Rivers and Estuaries Divisions
Department of Biodiversity,
Conservation and Attractions
Locked Bag 104
BENTLEY DC WA 6983

Dear Sir/Madam,

**APPLICATION REFERRAL – PART 5
PROPOSED RAMP – SWAN CANOE CLUB – LOT 672 (NO. 11) JOHNSON PARADE,
MOSMAN PARK**

Attached is an application for a ramp at the Swan Canoe Club in Mosman Park. The ramp is designed to link an existing concrete ramp with the existing floating canoe launching ramp. The ramp is located wholly within the Development Control Area and the Cadastral boundary of Lot 672.

The ramp will require an amendment to the Swan Canoe Club's lease of Town-managed land. The Town's support for this application is conditional on the lease amendment being finalised.

If the Commission is to support the proposed ramp at the Swan Canoe Club, the following conditions are recommended:

Conditions

1. The amendment to the Swan Canoe Club's lease area with the Town of Mosman Park is finalised prior to submission of a building permit.
2. A Construction Management Plan, that details how the construction of the development will be managed to minimise the impact on the surrounding area, shall be submitted and approved by the Town prior to making application for a Building Permit. Construction on and management of the

site shall hereafter comply with the approved Construction Management Plan.

3. All storm water collected on the subject land shall be retained onsite, by suitable means to the satisfaction of the Town.
4. No trees shall be removed or damaged, including unauthorised pruning, and any verge tree likely to be affected by the development shall be protected to the satisfaction of the Town in accordance with Council Policy 2.2.7 Street Trees.

Advice Notes

1. With regard to condition 2, the pro-forma Construction Management Plan can be found on the Town's Building Services webpage.

If you have any questions, please don't hesitate to contact Luke Pickersgill on 9384 1633 or via email at lpickersgill@mosmanpark.wa.gov.au.

Yours faithfully,



GABRIELA POEZYŃ

EXECUTIVE MANAGER PLANNING AND REGULATORY SERVICES



**Department of Planning,
Lands and Heritage**

ENQUIRIES : Aidan Ash- Ph 6551 8040
OUR REF: PLH0103
YOUR REF: 2017/4737

Ms Rebecca Esszig
Environmental Officer
Rivers and Estuaries Division
Parks and Wildlife Division
Department of Biodiversity, Conservation and Attractions
Email: rivers.planning@dpaw.wa.gov.au

Dear Ms Esszig

**PART 5 APPLICATION SWAN CANOE CLUB RAMP CONSTRUCTION LOT 672
JOHNSON PARADE AND LOT 676 MOSMAN PARK AND SWAN RIVER AT
MOSMAN BAY**

Thank you for your email on the 15 November 2017 regarding the Part 5 application in regards to the proposed construction of a ramp and pathway adjacent to an existing canoe clubhouse. The Aboriginal Heritage Directorate (AHD) of the Department of Planning Lands and Heritage (DPLH) has reviewed the information provided and provides the following comments.

The AHD advises the proposal of the canoe club ramp intersects the Aboriginal site ID 3536 (Swan River). The proposed location of the pathway does not intersect the site ID 3536 (Swan River).

Consent to undertake activities including the construction of a ramp was provided by the then Minister for Indigenous Affairs in a letter to the Town of Mosman Park dated 10 August 2011. On review of the application for this consent, it is likely the existing permit provides consent for the proposed ramp. The conditions of the consent dated 10 August 2011 provided under section 18 of the *Aboriginal Heritage Act 1972* must be adhered to.

It is recommended that the proponent contact the AHD if they have any queries regarding the consent.

If you have any queries in regards to this please do not hesitate to contact me on (08) 6551 8040 or via email aidan.ash@dplh.wa.gov.au.

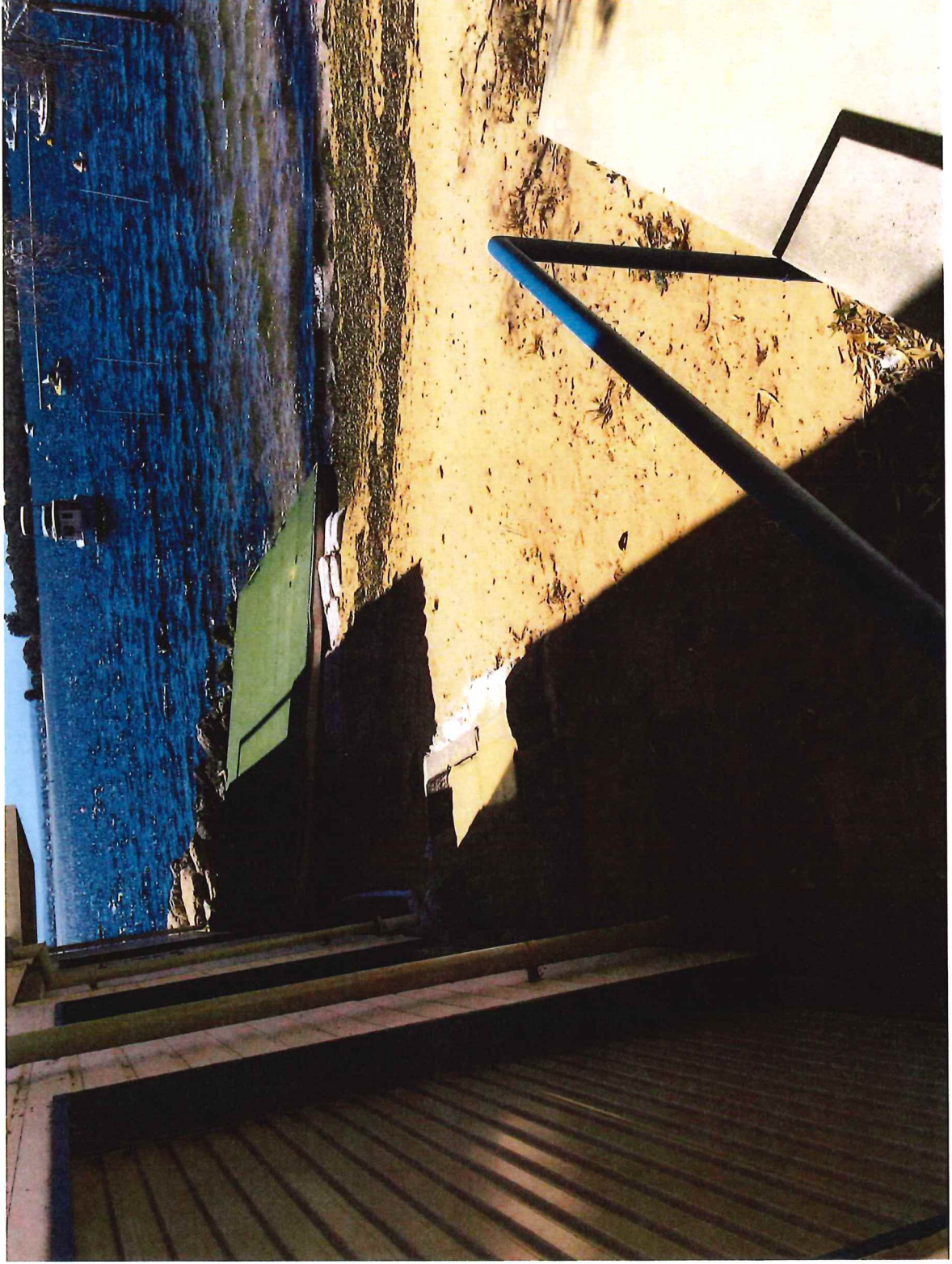
Yours sincerely

A handwritten signature in black ink, appearing to read 'Aidan Ash'.

Aidan Ash
TEAM LEADER, HERITAGE

7 December 2017

Attachment 6 – Existing Site



Attachment 7 – Replacement sand bags

