



Swan and Canning Rivers Management Act 2006

PART 5

DETERMINATION OF DEVELOPMENT APPLICATION

FILE NUMBER	:	2017/4825
APPLICANT	:	Canford Hospitality Consultants Pty Ltd, on behalf of Albarossa
APPLICANT'S ADDRESS	:	Attn: Syafrina Hamid Consultant PO Box 389 Guildford WA 6935
LANDOWNER	:	State of Western Australia (vested in the City of Fremantle)
LAND DESCRIPTION	:	The Kiosk, Lot 1941 on Diagram 213981 (No. 123 Beach Street) Fremantle, Crown Reserve 4720.
DEVELOPMENT	:	Change of use, additions and alterations to existing building.
VALID FORM 1 RECEIVED	:	20 November 2017
DETERMINATION	:	APPROVAL WITH CONDITIONS

The application to commence development in accordance with the information received on 20 November 2017 is APPROVED subject to the following conditions:

1. Approval to implement this decision is valid for two (2) years from the date of the approval. If the development has not been substantially commenced within this period, a new approval will be required before commencing or completing the development.

Prior to the commencement of works

2. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works.
3. Prior to the commencement of works or any development being undertaken on the site, the applicant shall submit for approval to the Department of Biodiversity, Conservation and Attractions, on the advice of the City of Fremantle, details of bicycle parking facilities.

During works

4. The works shall take place in accordance with the approved plans and Drawings 01 to 04 inclusive, as supplied with the application, unless modified by a condition of this approval.
5. The development shall be connected to the reticulated sewerage system.
6. All stormwater from the development shall be contained onsite unless otherwise approved by the Department of Biodiversity, Conservation and Attractions, on advice of the City of Fremantle.

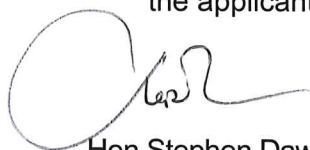
On completion of works

7. Within 14 days of the completion of the works, the applicant shall remove all waste materials, equipment and machinery and ensure the site is cleaned-up to the satisfaction of the Department of Biodiversity, Conservation and Attractions, on advice from the City of Fremantle.

ADVICE TO APPLICANT

1. Notification of commencement of work and plans can be emailed to rivers.planning@dbca.wa.gov.au.
2. The applicant is advised that this approval does not negate the need to obtain any other necessary approval from relevant agencies, or from the Department of Biodiversity, Conservation and Attractions.
3. The City of Fremantle advises that prior to commencement of development, a report is to be submitted to the City by a suitably qualified acoustic engineer certifying that the proposal incorporates sufficient sound attenuation measures to limit noise impact on adjoining properties to within the requirements of the Environmental Protection Act 1986.
4. The City of Fremantle advises that the design and materials of the development are to adhere to the requirements set out within City of Fremantle policy L.P.P2.3 - Fremantle Port Buffer Area Development Guidelines for properties contained within Area 2. Specifically, the development should provide the following:
 - Glazing to windows and other openings are to be laminated safety glass of a minimum thickness of 6mm or "double glazed" utilising laminated or toughened safety glass of a minimum thickness of 3mm; and
 - Roof insulation in accordance with the requirements of the Building Codes of Australia.
5. The City of Fremantle advises that the signage is not to contain any flashing or moving light or radio; animation or movement in its design or structure; reflective, retro-reflective or fluorescent materials in its design structure.
6. The City of Fremantle advises that prior to occupation, the applicant is to submit a waste management plan for approval by the City, detailing the storage and management of the waste generated by the development. The waste management plan is to be implemented to the satisfaction of the Chief Executive Officer, City of Fremantle.
7. The City of Fremantle advises the Tavern hours of opening are limited to:

Monday to Saturday	6:00am to 12:00am (midnight)
Sunday	10:00am to 12:00am (midnight)
8. The City of Fremantle advises that the paving and landscaping depicted outside the lease boundaries of the subject property does not form part of this approval. The applicant is to undertake ground stability assessment due to the nature of the surrounding landscape.
9. The City of Fremantle advises that the proposed works are within the City's irrigation assets. The proponent is to liaise with the City's Parks Department in relation to required relocation of irrigation components. The cost of these works will be covered by the applicant.



Hon Stephen Dawson MLC
MINISTER FOR ENVIRONMENT

Date: 21/4/18

DEPARTMENT OF BIODIVERSITY, CONSERVATION AND ATTRACTIONS REPORT

PROPOSAL	:	Change of use, additions and alterations to existing building.
LOCATION	:	The Kiosk, Lot 1941 on Diagram 213981 (No. 123 Beach Street) Fremantle, Crown Reserve 4720.
APPLICANT	:	Canford Hospitality Consultants Pty Ltd, on behalf of Albarossa Pty Ltd Attention: Syafrina Hamid
LANDOWNER	:	State of Western Australia (vested in the City of Fremantle)
LOCAL GOVERNMENT	:	City of Fremantle
MRS CLASSIFICATION	:	Parks and Recreation
LG CLASSIFICATION	:	No zoning
DECISION TYPE	:	Part 5, <i>Swan and Canning Rivers Management Act 2006</i>
ATTACHMENTS	:	1. Location Map 2. City of Fremantle Advice 3. Proposed Plans
RECOMMENDATION	:	APPROVAL WITH CONDITIONS

REPORT

1.0 INTRODUCTION

- 1.1 The Department of Biodiversity, Conservation and Attractions (DBCA) has received an application from Canford Hospitality Consultants Pty Ltd, on behalf of Albarossa Pty Ltd, to change the use of the current venue (The Kiosk) from a restaurant to a tavern, allowing an application to the Department of Local Government, Sport and Cultural Industries for a tavern restricted licence.
- 1.2 In addition to the change of use, The Kiosk will undergo physical changes, including expansion of the floor space, upgrades to the bar, air conditioning, toilets, ceiling, signage, and lighting.
- 1.3 The Kiosk is located at Lot 1941 on Diagram 213981 (No. 123 Beach Street) Fremantle, Crown Reserve 4720 (Attachment 1). The subject land is reserved for Parks and Recreation under the Metropolitan Region Scheme. The Kiosk building is owned by the City of Fremantle and leased to Albarossa Pty Ltd.
- 1.4 The proposed development is to occur on a lot wholly within the Swan Canning Development Control Area (DCA). As the proposal is of a value greater than \$50,000, it cannot be processed under the Swan and Canning Rivers Management Regulations 2007. The proposal therefore requires approval under Part 5 of the *Swan and Canning Rivers Management Act 2006* (SCRM Act).
- 1.5 The Director General of DBCA has prepared this report in accordance with section 75 of the SCRM Act.

2.0 CONSULTATION

City of Fremantle

- 2.1 The City of Fremantle provided its advice to DBCA, supporting the proposal subject to conditions and advice (**Attachment 2**). This advice has been incorporated into the conditions and advice notes of this approval.

3.0 PUBLIC COMMENT - SUBMISSIONS ON DRAFT REPORT

- 3.1 In accordance with the requirements of Part 5 of the SCRM Act, a copy of the draft report and proposed recommendation was provided to the applicant and the City of Fremantle. A copy was also published on the DBCA website for a period of two (2) weeks between 28 February 2018 and 14 March 2018 with an invitation for public submissions.
- 3.2 No submissions were received.

4.0 RELEVANT POLICIES AND PLANS

- ◆ State Planning Policy 2.10 - *Swan-Canning River System*
- ◆ Corporate Policy Statement No. 42 - *Planning for Land Use, Development and Permitting Affecting the Swan Canning Development Control Area (Policy 42)*
- ◆ Corporate Policy Statement No. 45 - *Planning for Miscellaneous Structures and Facilities in the Swan Canning Development Control Area (Policy 45)*
- ◆ Corporate Policy Statement No. 46 - *Planning for Commercial Operations in the Swan Canning Development Control Area (Policy 46)*
- ◆ Corporate Policy Statement No. 49 - *Planning for Stormwater Management Affecting the Swan Canning Development Control Area (Policy 49)*

5.0 BACKGROUND

- 5.1 The application proposes to upgrade the north elevation (Beach Street) to include a new fascia using solid timber verticals, and the existing limestone is to be bagged and painted white. The timber fascia will include new signage.
- 5.2 The proposal includes an additional 111m² of floor space, including alfresco, toilets and amenities, and extended bar, store and office areas. This extension is to the rear of the existing building and includes similar external finishes to the north elevation.
- 5.3 Plans for the proposal are provided in **Attachment 3**. The total cost of these works is expected to be between \$300,000 and \$450,000.

6.0 DISCUSSION

- 6.1 In 2014, the Swan River Trust (the Trust) assessed an application under Regulation 14 of the Swan and Canning Rivers Management Regulations 2007 for the enclosure of the alfresco area adjacent to Beach Street. These works included construction of a steel roof, bi-fold windows along the boundary, and the raising of the limestone wall to 900mm.
- 6.2 The works were assessed in terms of visual amenity, stormwater management, public access and safety, and vegetation protection. The Trust determined the works would have minimal adverse impact on the river or the DCA, would soften and improve the look of the building, and therefore the works were approved subject to conditions.

- 6.3 DBCA considers the currently proposed works to be of a similar low-impact, not against the public interest, compliant with DBCA policies and consistent with the objectives and principles of the SCRM Act.

7.0 SWAN RIVER TRUST ADVICE

- 7.1 In accordance with section 75(3A) of the SCRM Act, the Trust considered the draft report at its meeting on 13 February 2018. The Trust resolved to support the report and recommendations.

8.0 CONCLUSION

- 8.1 The proposed change of use, additions and alterations to the existing café building are considered to complement the character of the area, increase opportunity for the community and visitors to enjoy the foreshore, and will not result in any adverse impacts to the DCA. It is therefore recommended the application be approved subject to conditions.

9.0 RECOMMENDATION – APPROVAL WITH CONDITIONS

That the Director General of DBCA advises the Minister for Environment that the Canford Hospitality Consultants Pty Ltd proposal, on behalf of Albarossa Pty Ltd, to change the use, additions and alterations to the existing building known as The Kiosk on Lot 1941 on Diagram 213981 (No. 123 Beach Street) Fremantle, as described in the valid application dated 20 November 2017, be approved subject to the following conditions:

1. Approval to implement this decision is valid for two (2) years from the date of this approval. If the subject development is not substantially commenced within the two-year period, the approval shall lapse and be of no further effect.

Prior to the commencement of works

2. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works.
3. Prior to the commencement of works or any development being undertaken on the site, the applicant shall submit for approval to the Department of Biodiversity, Conservation and Attractions, on the advice of the City of Fremantle, details of bicycle parking facilities.

During works

4. The works shall take place in accordance with the approved plans and Drawings 01 to 04 inclusive, as supplied with the application, unless modified by a condition of this approval.
5. The development shall be connected to the reticulated sewerage system.
6. All stormwater from the development shall be contained onsite unless otherwise approved by the Department of Biodiversity, Conservation and Attractions, on advice of the City of Fremantle.

On completion of works

7. Within 14 days of the completion of the works, the applicant shall remove all waste materials, equipment and machinery and ensure the site is cleaned-up to the satisfaction of the Department of Biodiversity, Conservation and Attractions, on advice from the City of Fremantle.

ADVICE TO APPLICANT

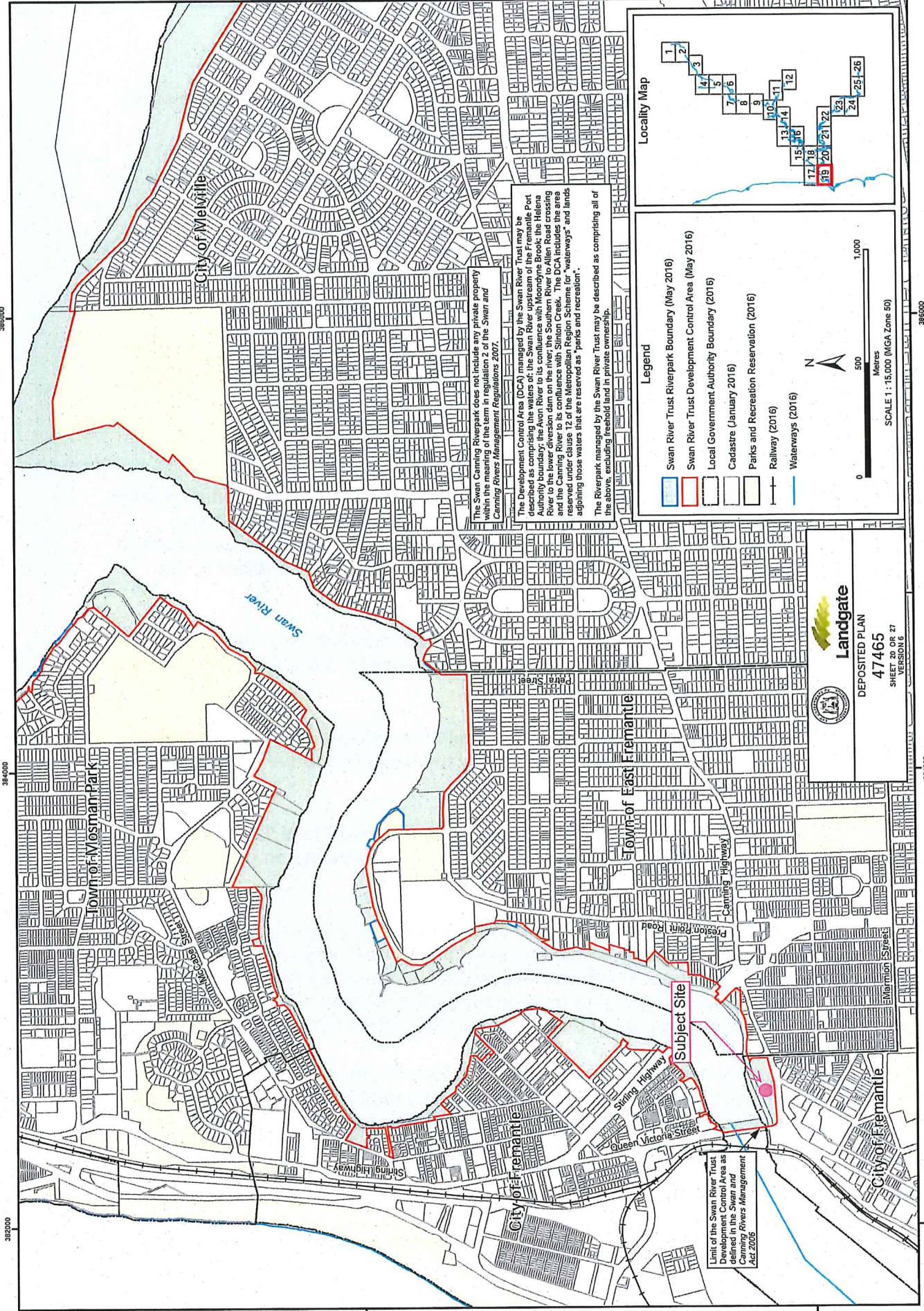
1. Notification of commencement of work and plans can be emailed to rivers.planning@dbca.wa.gov.au.

2. The applicant is advised that this approval does not negate the need to obtain any other necessary approval from relevant agencies, or from the Department of Biodiversity, Conservation and Attractions.
3. The City of Fremantle advises that prior to commencement of development, a report is to be submitted to the City by a suitably qualified acoustic engineer certifying that the proposal incorporates sufficient sound attenuation measures to limit noise impact on adjoining properties to within the requirements of the Environmental Protection Act 1986.
4. The City of Fremantle advises that the design and materials of the development are to adhere to the requirements set out within City of Fremantle policy L.P.P2.3 - Fremantle Port Buffer Area Development Guidelines for properties contained within Area 2. Specifically, the development should provide the following:
 - Glazing to windows and other openings are to be laminated safety glass of a minimum thickness of 6mm or "double glazed" utilising laminated or toughened safety glass of a minimum thickness of 3mm; and
 - Roof insulation in accordance with the requirements of the Building Codes of Australia.
5. The City of Fremantle advises that the signage is not to contain any flashing or moving light or radio; animation or movement in its design or structure; reflective, retro-reflective or fluorescent materials in its design structure.
6. The City of Fremantle advises that prior to occupation, the applicant is to submit a waste management plan for approval by the City, detailing the storage and management of the waste generated by the development. The waste management plan is to be implemented to the satisfaction of the Chief Executive Officer, City of Fremantle.
7. The City of Fremantle advises the Tavern hours of opening are limited to:

Monday to Saturday	6:00am to 12:00am (midnight)
Sunday	10:00am to 12:00am (midnight)
8. The City of Fremantle advises that the paving and landscaping depicted outside the lease boundaries of the subject property does not form part of this approval. The applicant is to undertake ground stability assessment due to the nature of the surrounding landscape.
9. The City of Fremantle advises that the proposed works are within the City's irrigation assets. The proponent is to liaise with the City's Parks Department in relation to required relocation of irrigation components. The cost of these works will be covered by the applicant.

FINAL REPORT ENDORSED

Signed:  Date: 12/4/18
Mark Webb
Director General



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386000

384000

382000

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City of Melville

Town of Vosman Park

Town of East Fremantle

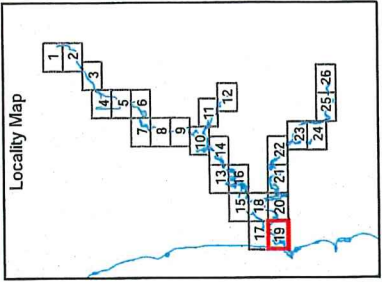
City of Fremantle

City of Fremantle

The Swan Canning Riverpark does not include any private property within the meaning of the term in regulation 2 of the *Swan and Canning Rivers Management Regulations 2007*.

The Development Control Area (DCA) managed by the Swan River Trust may be described as comprising the waters of the Swan River upstream of the Fremantle Port Authority boundary; the Avon River to its confluence with Moorbyne Brook; the Helena River to the lower diversion dam on the river; the Southern River to Allen Road crossing and the Canning River to its confluence with Simon Creek. The DCA includes the area reserved under clause 12 of the Metropolitan Region Scheme for "waterways" and lands adjoining those waters that are reserved as "parks and recreation".

The Riverpark managed by the Swan River Trust may be described as comprising all of the above, excluding freehold land in private ownership.



Legend

- Swan River Trust Riverpark Boundary (May 2016)
- Swan River Trust Development Control Area (May 2016)
- Local Government Authority Boundary (2016)
- Cadastra (January 2016)
- Parks and Recreation Reservations (2016)
- Railway (2016)
- Waterways (2016)

SCALE 1 : 15,000 (MGA Zone 50)

0 500 1,000 Metres

Landgate

DEPOSITED PLAN
47465
SHEET 20 OR 27
VERSION 6

Limit of the Swan River Trust Development Control Area as defined in the Swan and Canning Rivers Management Regulations 2007

From: Justin Lawrence
To: [Rivers Planning](#)
Cc: [Chantal MacKenzie](#)
Subject: RE - Development Application Referral to DPAW - DA0472/17 (Cranford Hospitality) - No.123 Beach Street, Fremantle - City of Fremantle
Date: Monday, 4 December 2017 2:52:17 PM
Attachments: [image001.jpg](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)
[image008.jpg](#)

To whom it may concern,

Please see below the City of Fremantle referral response (conditions and advice notes) for DA0472/17 – Change of use from Restaurant to Tavern and additions and alterations to the existing building.

Council, under delegation 4.7:

REFER to the Department of Parks and Wildlife with a recommendation for APPROVAL under the Metropolitan Region Scheme and Local Planning Scheme No. 4 the proposed change of use from restaurant to tavern at No.123 (Lot 1941) Beach Street, Fremantle, subject to the following conditions:

- 1. This approval relates only to the development as indicated on the approved plans dated 25 September 2017. It does not relate to any other development on this lot.**
- 2. All storm water discharge shall be contained and disposed of on site or otherwise approved by the Chief Executive Officer, City of Fremantle.**
- 3. Prior to the issue of a Building Permit, two Class 1 and two Class 3 bicycle racks shall be provided, to the satisfaction of the Chief Executive Officer, City of Fremantle.**
- 4. Prior to commencement of development, a report shall be submitted by a suitably qualified acoustic engineer certifying that the proposal incorporates sufficient sound attenuation measures to limit noise impact on adjoining properties to within the requirements of the Environmental Protection Act.**
- 5. Prior to the issue of a Building Permit, the design and materials of the rear new addition development shall adhere to the requirements set out within City of Fremantle policy L.P.P2.3 - Fremantle Port Buffer Area Development Guidelines for properties contained within Area 2. Specifically, the development shall provide the following:**
 - a) Glazing to windows and other openings shall be laminated**

safety glass of minimum thickness of 6mm or "double glazed" utilising laminated or toughened safety glass of a minimum thickness of 3mm.

- b) Roof insulation in accordance with the requirements of the Building Codes of Australia.
6. The signage hereby permitted shall not contain any flashing or moving light or radio; animation or movement in its design or structure; reflective, retro-reflective or fluorescent materials in its design structure.
7. Prior to occupation, the development hereby permitted shall be connected to an approved reticulated sewerage system.
8. Prior to occupation, the owner is to submit a waste management plan for approval detailing the storage and management of the waste generated by the development to be implemented to the satisfaction of the Chief Executive Officer, City of Fremantle.
9. The Tavern hours of opening are limited between the following hours:
 - Monday to Saturday – 6am to 12:00am (midnight)
 - Sunday - 10:00am – 12:00am (midnight)

Advice Note(s):

- i. The proponent must make application during the Building License application stage to the City's Environmental Health Services via Form 1 - Application to construct, alter or extend a public building as a requirement of the Health (Public Buildings) Regulations 1992. For enquiries and a copy of the application form contact the City's Environmental Health Services by email health@fremantle.wa.gov.au or telephone 9432 9856.
- ii. The proponent must make application to establish the food business so that the premises comply with the Food Act, Regulations and the Food Safety Standards incorporating AS4674-2004 Design, construction and fit-out of food premises. Submit detailed architectural plans and elevations to the City's Environmental Health Services for approval prior to construction. The food business is required to be registered under the Food Act 2008. For enquiries and a copy of the application form contact the City's Environmental Health Services by email health@fremantle.wa.gov.au or telephone 9432 9856.
- iii. A Building permit is required for the proposed Building Works. A certified BA1 application form must be submitted and a Certificate of Design Compliance (issued by a Registered Building Surveyor Contractor in the private sector) must be submitted with the BA1.

- iv. The paving and landscaping depicted outside the lease boundaries of the subject property not being part of this approval. The proponent is to undertake ground stability assessment because of the nature of the surrounding landscape with deposits of limestone. Possibility of subterranean voids and limestone deposit impacting on the future construction activities.

The trees adjacent to future construction site will be protected throughout the construction period by a Tree Protection Zone (TPZ). The TPZ shall:

- Be a clear mesh type barrier fence in a 2.4m x 2.4m square around the tree and a minimum of 1.8m high.
- Allow for free and clear passage of pedestrians on the footpath or adjacent portion of the verge;
- Provide for clear visibility, driveway access, crosswalks
- Be 0.6 metres or more from the kerb to provide for the opening for car doors;
- Provide access to any service utilities within the verge;
- Be strong enough to withstand knocks from machinery and vehicles and deter them from entering the TPZ;
- Be maintained in good effective condition until the work is completed.
- Proposed works are within City's irrigation assets. The proponent needs to liaise with City's Parks Department in relation to required relocation of irrigation components. The cost of these works will be covered by the proponent.

For further queries relating to verge infrastructure modifications please contact the Infrastructure Engineering department via TECHSERVICES@fremantle.wa.gov.au or 9432 9999.

If there is anything further required please let me know.

Kind Regards,

Justin Lawrence
Coordinator Statutory Planning
Development Approvals
T 08 9432 9742
E justinl@fremantle.wa.gov.au
8 William Street Fremantle 6160
www.fremantle.wa.gov.au

Logo of the City of Fremantle



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US

Notes:
 1. All dimensions to be checked on site prior to construction. Dimensions to be notified in writing of any discrepancies.
 2. Do not scale from this drawing. Written dimensions govern.
 3. Non-compliant work may be rejected and replaced at the contractor's expense.
 4. All public artwork must be developed in accordance with the relevant 'Style Guide'
 5. All work must be completed in accordance with National Construction Code of Australia and all relevant Australian Standards.
 All Structural works are subject to Structural Engineer's final design and specification.

ATTACHMENT 3

CITY OF FREMANTLE
 These Plans Form Part of

Drawing: **17/2/17**
 Date: **25 Sep 2017**

Scale: **A**

United Studio
 5 Hillas Street, Shenton Park
 WA 6150
 e: david@unitedstudio.com.au
 p: 0402795775

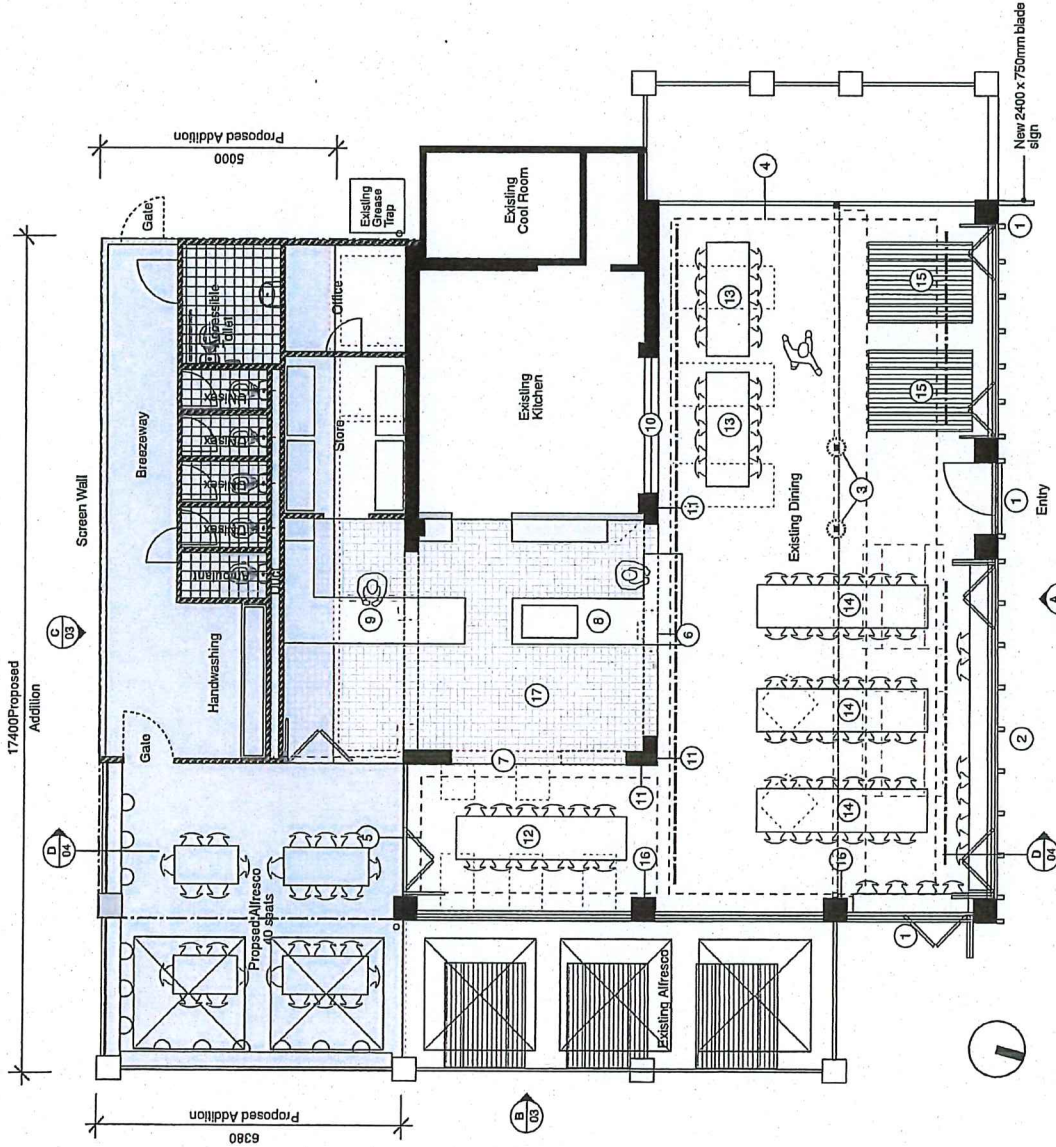
Schedule

- 1 New External signage
- 2 External timber cladding - solid timber verticals, timber fascia.
- 3 Columns - column steel reinforcing mesh, planing
- 4 Timber batten ceiling, 30 x 30 timber battens at 50mm c/c attached to ceiling joists. Paint to match existing white paint finish, part natural finish.
- 5 Timber batten ceiling, 30 x 30 timber battens at 50mm c/c attached to existing roof structure. Natural finish.
- 6 Remove existing brick column and aluminium doors. New lintel over
- 7 Remove existing brick wall. New lintel over
- 8 New service counter, FC sheet with porcelain tiles to face
- 9 New drinks service bar. Remove existing roof room New bar - FC sheet with porcelain tiles to face. Realign walls with gyprock. Underbench fridges
- 10 Option - new fixed window to kitchen
- 11 Remove existing textured render from brickwork - return to face brick and review
- 12 Long high table with stools
- 13 Long high tables with stools
- 14 Long communal dining tables
- 15 Existing 'picnic' tables
- 16 Treatment to existing limestone - bagging and paint. (White)
- 17 New tiled floor

- New lighting:
- Concealed LED strips
- Track lighting

Wall Key

- Existing Wall
- New 100 mm Stud wall
- Existing to be removed



01 Floor Plan
 Scale 1:100

US

- Notes:
1. All dimensions to be checked on site prior to manufacture. The Designer is to be notified in writing of any discrepancies.
 2. Do not scale from this drawing. Written dimensions govern.
 3. Non-compliant work may be rejected and replaced at the contractor's expense.
 4. All graphic artwork must be developed in accordance with the relevant AS/NZS Style Guide.
 5. All work must be completed in accordance with the relevant Australian Standards and all relevant Australian Standards.
 6. All Structural works are subject to Structural Engineer's final design and specification.

Kiosk Fremantle

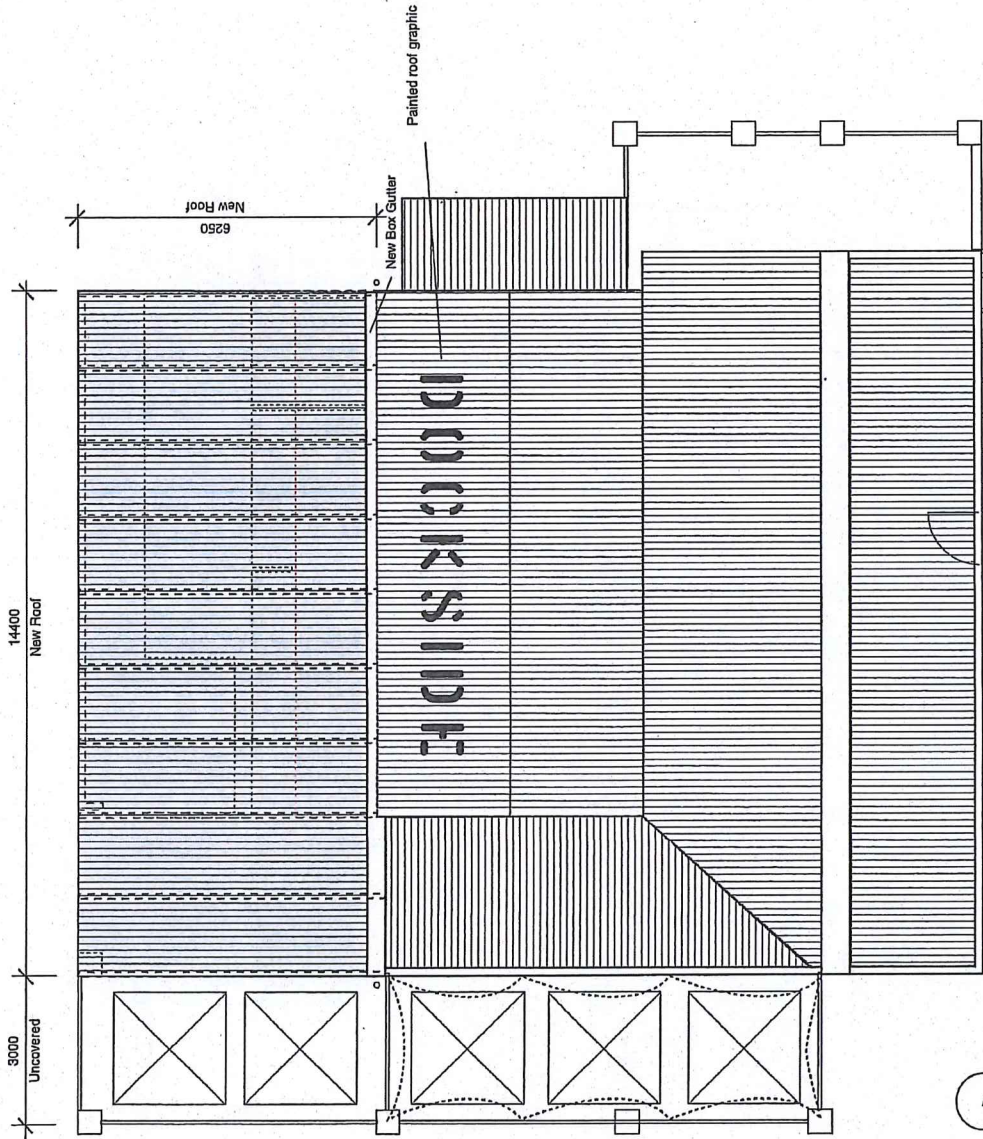
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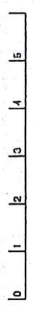
Date: 15.09.17
Drawn By: J.S.
Sheet Size: A3
Scale: 1:100
Rev: 0

Issue
02
25 Sep 2017
17/0472/117

United Studio
6 Hilda Street, Shearwater Park
Willetton, WA 6108
e: david@unitedstudio.com.au
p: 0402 795 775



02 Roof Plan
Scale 1 : 100

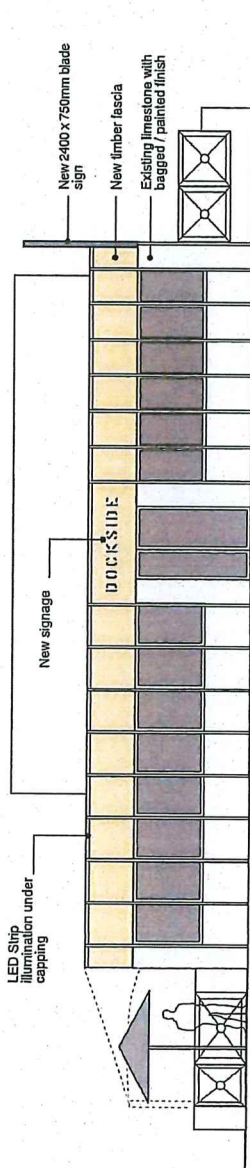


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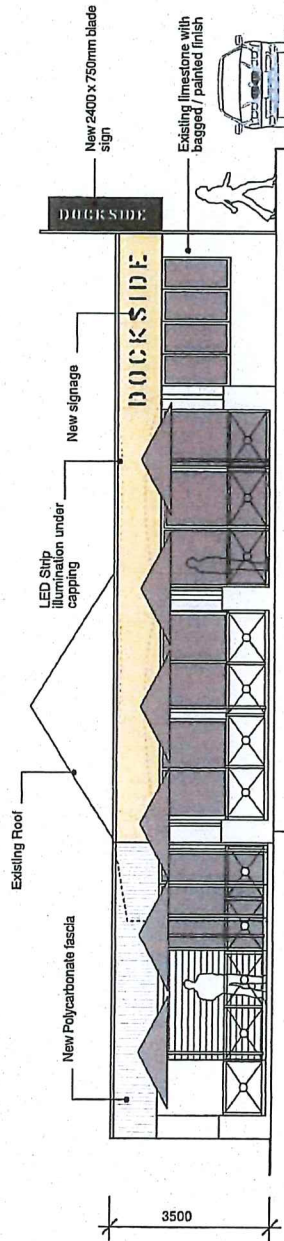
- Notes:**
- All dimensions to be checked on site prior to construction. Any discrepancies to be notified in writing of any discrepancies.
 - Do not scale from this drawing. Written dimensions govern.
 - Non-compliant work may be selected and replaced at the contractor's expense.
 - All graphic artwork must be developed in accordance with the relevant Style Guide.
 - All work must be completed in accordance with National Construction Code of Australia and all relevant Australian Standards.
- All structural works are subject to Structural Engineer's final design and specification.

Kiosk Fremantle

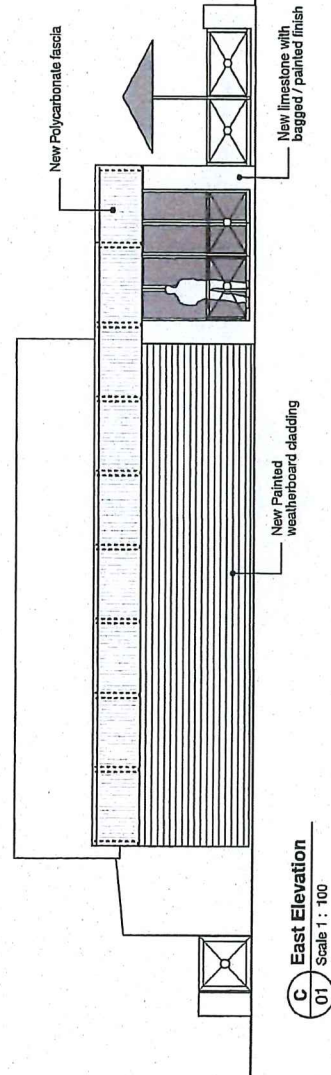
Prev/ Issue	Date
Date: 15.09.17 Drawing: DS Sheet: A3 Scale: 1:100 Rev: 0	Scale A 25 Sep 2017
United Studio	
6 Hilcia Street, Shenton Park Perth WA 6150 t: 08 9447 7955 e: david@unitedstudio.com.au p: 0402 795 775	



A
01 Scale 1 : 100



B
01 Scale 1 : 100



C
01 Scale 1 : 100

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These Plans Form Part of

US

- Notes:
1. All dimensions to be checked on site prior to manufacture. The Designer is to be notified in writing of any discrepancies.
 2. Do not scale from this drawing. Written dimensions govern.
 3. Non-compliant work may be rejected and replaced at the contractor's expense.
 4. All graphic artwork must be developed in accordance with the relevant AS/NZS standards.
 5. All work must be checked and certified in accordance with National Construction Code of Australia and all relevant Australian Standards.
 6. All Structural works are subject to Structural Engineer's final design and specification.

Kiosk Fremantle

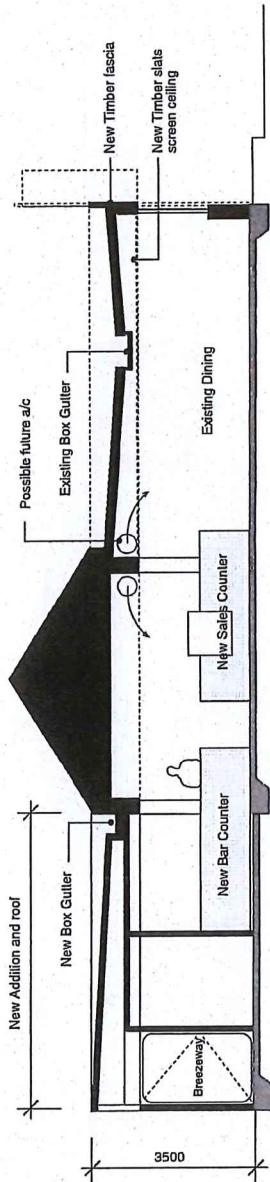
Prev Issue	Date
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Dated: 15.08.17
Drawn: DS
Sheet Size: A3
Scale: 1:100
Rev: 0

ISSUE
25 Sep 2017
04 A

United Studio
6 High Street, Shenton Park
Western Australia 6008
e: david@unitedstudio.com.au
p: 0402 795 775



D Proposed Section
01 Scale 1 : 100