

*Swan and Canning Rivers Management Act 2006*

**PART 5**

**DETERMINATION OF DEVELOPMENT APPLICATION**

FILE NUMBER	:	2019/2586
APPLICANT	:	Mr Paul Bayliss, Chief Executive Officer, Royal Freshwater Bay Yacht Club
APPLICANT'S ADDRESS	:	1 Hobbs Place, Peppermint Grove
LANDOWNER	:	Department of Biodiversity, Conservation and Attractions (Conservation Commission of Western Australia)
LAND DESCRIPTION	:	Royal Freshwater Bay Yacht Club, Lot 2534 on Plan 222326 (Reserve 17060), 1 Hobbs Place, Peppermint Grove
DEVELOPMENT	:	Demolition and redevelopment of Junior Sailing Clubhouse, dinghy storage shed, ablution block, parking facilities and fuel storage and dispensing facilities
VALID FORM 1 RECEIVED	:	25 September 2019
DETERMINATION	:	<b>APPROVAL WITH CONDITIONS</b>

The application to commence development in accordance with the information received on 25 September 2019 is APPROVED subject to the following conditions:

**CONDITIONS**

1. Approval to implement this decision is valid for two (2) years from the date of the approval. If substantial on-site works have not commenced within this period, a new approval will be required before commencing or completing the development.

**Prior to the commencement of works**

2. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works (see **Advice Note 1**).
3. Prior to the commencement of works, a Construction Environmental Management Plan shall be submitted to and approved by the Department of Biodiversity, Conservation and Attractions (see **Advice Notes 2 and 6**).
4. Prior to the commencement of works, an external Lighting Plan shall be submitted to and approved by the Department of Biodiversity, Conservation and Attractions (see **Advice Notes 3 and 6**).
5. Prior to the commencement of works, a Stormwater Management Plan shall be submitted to and approved by the Department of Biodiversity, Conservation and Attractions (see **Advice Notes 4 and 6**).
6. Prior to the commencement of works, a decommissioning and relocation plan for the fuel storage and fuel distribution system, and a fuel leakage detection system, shall be submitted to and approved by the Department of Biodiversity, Conservation and Attractions (see **Advice Note 6**).

7. Prior to the commencement of works, final design plans/drawings and technical specifications, including details of the external colours, finishes and materials for the new clubhouse, shall be submitted to and approved by the Department of Biodiversity, Conservation and Attractions (see **Advice Notes 5 and 6**).

#### **During works**

8. All works shall be implemented in accordance with the plans approved under **Conditions 3 to 7**.
9. The applicant shall take appropriate preventative measures during the works to ensure that no top soil, runoff or any other deleterious matter is allowed to enter the river.
10. The applicant shall ensure that trees within the construction area are protected through the installation of Tree Protection Zones, which are to remain in place until the completion of works.
11. The applicant shall ensure that fill products used are geotechnically suitable and otherwise fit for their purpose and that they do not cause environmental harm, pollution, unreasonable emissions or unauthorised discharges contrary to the *Environmental Protection Act 1986* or other legislation (refer to Material Guideline – clean fill, Department of Environment Regulation, 2014).
12. The applicant shall ensure that no damage to the foreshore, riverbank, or waterway (including vegetation and infrastructure) occurs beyond the scope of the approved works. If any inadvertent damage occurs, the applicant is required to notify the Department of Biodiversity, Conservation and Attractions within 48 hours of the damage occurring and rectify the damage at its expense.
13. The development shall be connected to the reticulated sewerage system prior to occupation.

#### **On completion of works**

14. Upon completion of the works, all waste materials, equipment and machinery shall be removed, and the site cleaned up to the satisfaction of the Department of Biodiversity, Conservation and Attractions.
15. Within six months of the completion of works, as constructed drawings for the redevelopment, including for the fuel lines that were sealed and left in-situ, shall be submitted to the satisfaction of the Department of Biodiversity, Conservation and Attractions.

#### **ADVICE TO APPLICANT**

1. Notifications can be emailed to [rivers.planning@dbca.wa.gov.au](mailto:rivers.planning@dbca.wa.gov.au).
2. The Construction Environmental Management Plan required under **Condition 3** shall describe how the proposed works will be managed to minimise potential environmental impacts and shall address, but not be limited to:
  - a. scope of works, including demolition and construction methodology;
  - b. site access and management, including temporary fencing requirements;
  - c. management of machinery and equipment, including a refuelling procedure and spill response;



- d. on-site storage and bunding of materials, equipment, chemicals and fuel;
- e. waste management;
- f. air and dust management;
- g. protection of the river from inputs of debris, rubbish or other deleterious material;
- h. foreshore and vegetation (including root zone) protection;
- i. wildlife management, including minimising noise and vibration impacts;
- j. public access and safety;
- k. hours of operation and schedule of works; and
- l. complaints and incidents.

A site map showing the laydown area, vehicle entry/exit points and pedestrian management (e.g. road closures, alternative routes and public safety signage) shall be included. Emergency spill kits shall be onsite at all times and it is preferable that refuelling of land-based vehicles or machinery is to be undertaken outside the Swan Canning Development Control Area or at a licensed refuelling facility. In the case of pollution events, the Department of Biodiversity, Conservation and Attractions shall be contacted immediately on 9278 0900 or after hours on 0419 192 845.

In accordance with Australian Standard AS 4970-2009: *Protection of trees on development sites*, appropriate tree protection measures should be taken to protect existing mature trees in close proximity to the proposed works. The tree protection zones should be identified and fenced to restrict access and to avoid damage to the trees during works.

3. In regard to **Condition 4**, external lighting should be low level with minimal light spill on the water or upward to the sky to ensure no adverse ecological consequences. A light-spill diagram may be required.
4. In regard to **Condition 5**, the Stormwater Management Plan should be designed to minimise sediment transport and to prevent mobilisation of nutrients and contaminants (e.g. hydrocarbons) from the site to the river. Stormwater from the proposed redevelopment should be managed in accordance with the Stormwater Management Manual for Western Australia (Department of Water, 2004-2007) and water sensitive urban design (WSUD) principles.

Stormwater runoff generated by minor rainfall events (i.e. first 15mm) must be retained or detained on site and will not be permitted to enter the river untreated. Detailed designs for the vegetated drainage swales (including flora species selection and filter media selection) and interceptor drain(s) are required.

For examples and guidance on WSUD design principles, please refer to the fact-sheets at this link: <https://www.newwaterways.org.au/resources/case-studies-fact-sheets/wsud-fact-sheets/>

5. In regard to **Condition 7**, the applicant is advised that the selected building materials and colour scheme for the development should be of a low reflective standard, and reflect the character and landscape setting of the Swan River and surrounding foreshore.
6. To allow sufficient time for the Department of Biodiversity, Conservation and Attractions to consider and approve the plans and details required under **Conditions 3 to 7**, the documents must be submitted to the Department of Biodiversity, Conservation and Attractions at least 42 days before the expected works commencement date.
7. The Department of Water and Environmental Regulation, Contaminated Sites advises that the site is classified under the *Contaminated Sites Act 2003* as 'possibly contaminated –

investigation required'. It is recommended that adequate safety measures are implemented to minimise the risk of disturbing suspected contaminated soils.

8. The applicant is advised that the proposed works are located adjacent to an area mapped as having a moderate to low acid sulphate soil risk. The *Acid Sulphate Soils Guideline Series for guidance on the identification, assessment and management of acid sulphate soils in Western Australia* is available from the Department of Water and Environmental Regulation website at [www.dwer.wa.gov.au](http://www.dwer.wa.gov.au). If any acid sulphate soils are exposed during the works, the Contaminated Sites Branch of the Department of Water and Environmental Regulation shall be contacted for further advice on 1300 762 982.
9. All noise levels produced by the development construction are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended)



Hon Stephen Dawson MLC  
**MINISTER FOR ENVIRONMENT**

Date: 25/2/20



**DEPARTMENT OF BIODIVERSITY, CONSERVATION AND ATTRACTIONS REPORT**

PROPOSAL:	Demolition and redevelopment of Junior Sailing Clubhouse, dinghy storage shed, ablution block, parking facilities and fuel storage and dispensing facilities
LOCATION:	Royal Freshwater Bay Yacht Club, Lot 2534 on Plan 222326 (Reserve 17060), 1 Hobbs Place, Peppermint Grove
COST:	\$2,000,000
APPLICANT	Mr Paul Bayliss, Chief Executive Officer, Royal Freshwater Bay Yacht Club
LANDOWNER	Department of Biodiversity, Conservation and Attractions (Conservation Commission of Western Australia)
LOCAL GOVERNMENT	Shire of Peppermint Grove
MRS CLASSIFICATION	Parks and Recreation Reserve
DECISION TYPE	Part 5, <i>Swan and Canning Rivers Management Act 2006</i> – Ministerial Determination
ATTACHMENTS	<ol style="list-style-type: none"><li>1. Aerial photo of subject land and site plan (1 page)</li><li>2. Proposed building development plans (3 pages)</li><li>3. Artists impression of building proposal (3 page)</li><li>4. Indicative building elevation and finishes (2 pages)</li></ol>
RECOMMENDATION	<b>APPROVAL WITH CONDITIONS</b>

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**REPORT**

**1.0 INTRODUCTION**

- 1.1 The Department of Biodiversity, Conservation and Attractions (DBCA) has received an application from Mr Paul Bayliss, Chief Executive Officer, Royal Freshwater Bay Yacht Club (RFBYC), for the redevelopment of its Junior Sailing Clubhouse, ablution block, dinghy storage shed, parking facilities and fuel storage and dispensing facilities on land at the RFBYC, Lot 2534 on Plan 222326 (Reserve 17060), 1 Hobbs Place, Peppermint Grove (**Attachment 1**).
- 1.2 As the works are located entirely within a lot that is in the Swan Canning Development Control Area (DCA), the application is being processed pursuant to Part 5 of the *Swan and Canning Rivers Management Act 2006* (SCRM Act) (**Attachment 2**).
- 1.3 The Director General of DBCA has prepared this report in accordance with section 76 of the SCRM Act.

## 2.0 CONSULTATION

### Shire of Peppermint Grove

- 2.1 RFBYC provided to the Shire of Peppermint Grove (the Shire) the re-development application. The Shire then forwarded the application to DBCA with no comments on the proposal.

### Department of Water and Environmental Regulation, Contaminated Sites

- 2.2 The Department of Water and Environmental Regulation (DWER), Contaminated Sites advised that the site is currently classified as 'possibly contaminated – investigation required' under the *Contaminated Sites Act 2003*. Further discussion on historical contamination is contained in Section 6 of the report.
- 2.3 DWER Contaminated Sites has assessed the proposal and advises that it has no objections to the proposed redevelopment given that the proposed works will involve only minor soil disturbance.

### Department of Planning, Lands and Heritage

- 2.4 The Department of Planning, Lands and Heritage (DPLH), Heritage Operations has no objections to the proposed redevelopment, advising RFBYC does not intersect any registered boundary administered by DPLH and hence no approvals under the *Aboriginal Heritage Act 1972* are required.

## 3.0 PUBLIC CONSULTATION – SUBMISSIONS ON DRAFT REPORT

- 3.1 In accordance with the requirements of Part 5 of the SCRM Act, a copy of the draft report and proposed recommendation was provided to the applicant and relevant stakeholders being the Shire, DWER and DPLH. A copy was also published on the DBCA website for a period of three (3) weeks between 8 January 2020 and 29 January 2020 with an invitation for public submissions.
- 3.2 No submissions were received.

## 4.0 RELEVANT POLICIES AND PLANS

- ◆ State Planning Policy 2.10 – *Swan-Canning River System* (SPP 2.10)
- ◆ Corporate Policy Statement No. 42 – *Planning for Land Use, Development and Permitting Affecting the Swan Canning Development Control Area* (Policy 42)
- ◆ Corporate Policy Statement No. 43 – *Planning for Marinas, Yacht Clubs and Aquatic Clubs in the Swan Canning Development Control Area* (Policy 43)

## 5.0 ENVIRONMENTAL AND PLANNING CONSIDERATIONS

- ◆ Environmental Protection
- ◆ Visual Amenity
- ◆ Heritage
- ◆ Acid Sulphate Soils
- ◆ Contamination



## 6.0 BACKGROUND

- 6.1 RFBYC covers approximately 2.2ha of land and approximately 5.24ha over water (see **Attachment 1**). RFBYC has a land lease from the Conservation and Parks Commission for its land-based facilities (i.e. clubroom, car park, storage and fuel facilities) and a River reserve lease from the Swan River Trust for its river-based facilities (e.g. jetties and mooring pens).
- 6.2 RFBYC was originally founded in 1896, and since then, the main clubhouse has undergone significant extensions and refurbishment. One of the major developments at the RFBYC consisted of alterations and additions to its kitchen and clubroom, new storage facilities, veranda and external bar/kiosk. A Part 5 Development Approval (SRT920-17) was granted on 25 August 2010. The last major on-water projects consisted of the replacement of Jetty C, with a Part 5 Development Approval (2018/5666) granted on 25 June 2019. Prior to that, a Part 5 Development Approval (SRT920-17) was granted on 25 February 2005 for similar works on Jetty G.
- 6.3 The current application proposes the following works:
- demolition of the existing junior sailing clubhouse, dinghy storage shed and ablution block;
  - decommission the existing fuel tank (located behind the dinghy storage shed) and associated diesel and unleaded supply lines;
  - installation of a new, above ground fuel storage tank at the lower carpark;
  - installation of new diesel and unleaded supply lines and pumps;
  - reconstruction of the current carparking area, increasing parking bays from nine to ten and formalising grassed parking areas using permeable paving; and
  - raising the building footprint (sand infill) by one metre to accommodate potential future flood events and construct a single building to accommodate the new clubhouse, change rooms and storage facilities (**Attachments 3 and 4**).
- 6.4 The proposed redevelopment will significantly improve the visual amenity of the site for both land-based and river users and will greatly enhance the RFBYC's ability to offer modern and robust facilities.

## 7.0 DISCUSSION

- 7.1 The junior sailing component of RFBYC serves as a member and volunteer based facility to introduce and train children in the sport of sailing. The facility operates year round and engages with public and private schools and the wider community in other activities such as sail training, sea safety programmes and power boat skipper courses, and participates in children-at-risk programmes. It is not the intention of RFBYC to make the new clubhouse available for private functions. Its primary function is as a training centre with occasional junior member-based social events.
- 7.2 The existing facilities are approximately 50 years old, are in a dilapidated condition and are no longer fit-for-purpose given the RFBYC's extensive volunteer and community-based training programmes.
- 7.3 The proposed redevelopment will allow for the clubhouse, change rooms and storage areas to be housed within a single building – currently these facilities are spread over three buildings. The new building will be constructed on the site of the demolished dinghy storage shed, whilst the site of the demolished ablution and

clubhouse will be converted to open space and lawn to be used as an additional dinghy rigging area.

- 7.4 The new building will occupy near-to the same footprint as the dinghy storage shed it will replace and will be 960m<sup>2</sup> in size. However, it will be an extra 16 metres long and will include a small patio area at the south-western end (extending river-ward by 6 metres). The new building footprint will be approximately 30 to 32 metres from the river's highwater mark.
- 7.5 The new building will provide modern facilities and additional room for users of the facilities, increased ability to supervise on-land and on-water activities, provide safer access to toilet and change room facilities and better protection from the weather.
- 7.6 It is considered that the proposed works will improve the visual amenity of the site by the inclusion of modern façade treatments and the reconfiguration of the car park and associated landscaping will improve the overall appearance of the site, particularly when viewed from the Swan River.
- 7.7 Car parking for the junior club is limited to nine formal parking bays and informal parking on the surrounding grassed areas. The proposed re-development will increase the formal bays to 10 whilst the demolition of the ablution and junior clubhouse buildings will allow for an expansion of the existing informal grassed parking area.
- 7.8 The design of the new building and carparking facilities will better manage stormwater runoff and facilitate water sensitive design through the incorporation of vegetated drainage swales, interceptor drains and permeable paving (uses grass as spacing between pavers).
- 7.9 Roof and carpark surface run-off will be directed to vegetated swales on the building's north side, and to a combination of vegetated swales and a stone-filled interceptor drain adjacent to the building's south-western extent. A combination of permeable paving and vegetated swales will be used to capture and control surface run-off from informal carparking and other areas adjacent to the new building. Grassed areas will also be utilised to capture excess stormwater runoff providing an increased capability for infiltration. Improvements to the stormwater management system as proposed will afford additional protection to the river from inputs of hydrocarbons and other pollutants from the new clubhouse area.
- 7.10 The diesel and unleaded storage tank located on the north side of the dinghy storage shed will be de-commissioned and a new tank and distribution supply lines installed at RFBYC's main work shed located at the lower carpark. This location allows for more efficient and safer fuel deliveries and movement of the fuel delivery vehicle. Similarly, the existing fuel lines will be decommissioned and where possible removed. The sections of fuel line for which removal may negatively impact upon existing vegetation and other infrastructure will be sealed off and left in-situ.
- 7.11 An arborist's report determined that the building design, positioning and raised footprint will not impact existing trees in and around the proposed building envelope. In addition, no trees or any other vegetation will need to be removed to accommodate the new building.
- 7.12 Potential impacts on the river and reserve from construction activities can be managed through a construction environmental management plan (CEMP).



## **Environmental Protection**

- 7.13 Policy 42 aims to ensure that land use and development adjacent to the river system maintains and enhances the quality and amenity of the river environment.
- 7.14 The construction works have the potential to impact on the foreshore and waterway, including wildlife (noise) impacts and disruption to public access and safety.
- 7.15 To ensure that all potential environmental impacts are identified and managed appropriately, it is recommended that a CEMP be included as a condition of approval. The CEMP will be required to include details of demolition and construction methodology, protection of water quality, machinery and equipment management (including refuelling), site access and management, public access and safety, waste management and spill response, foreshore protection and minimisation of potential noise impacts to fauna.

## **Visual Amenity**

- 7.16 Policy 42 states that the design, materials and colour scheme of developments adjacent to the river and foreshore should complement and protect the character and landscape setting of the river.
- 7.17 The preliminary design drawings provided with the application indicate the low profile building and indicative choice of finishes and materials will complement the site and significantly improve the visual amenity of the site, particularly when viewed from the river.
- 7.18 A condition of approval will require the provision of final design drawings, including external colours and finishes for the new building. It is recommended that colours, materials and finishes that complement the surrounding river environment are used.

## **Heritage**

- 7.19 Policy 42 states that places of cultural and heritage significance, both Aboriginal and European, and of natural heritage are to be conserved.
- 7.20 DPLH has advised that a review of the 'Register of Places and Objects' and the Aboriginal Heritage Database notes the land upon which the redevelopment is proposed does not intersect any registered boundaries administered by DPLH and therefore no approvals under section 18 of the *Aboriginal Heritage Act 1972* are required.

## **Acid Sulphate Soils**

- 7.21 The site of the proposed works has not been assessed for acid sulphate soils (ASS), however, the works are to be undertaken adjacent to an area mapped as having a moderate to low ASS disturbance risk, within 3m of the natural surface. The proposed redevelopment works will require minimal soil disturbance.
- 7.22 The potential for disturbance of ASS during the construction works is considered to be relatively minor and can be addressed through conditions or advice notes of the approval.

## **Contamination**

- 7.23 DWER's Contaminated Sites unit has advised the river sediments adjacent to the proposed redevelopment have been classified as 'possibly contaminated – investigation required' under the *Contaminated Sites Act 2003* due to a series of assessments detecting antifouling agents (such as those found in marine vessel antifouling paint) which is likely attributed to slipway maintenance of boats and other vessels at RFBYC.
- 7.24 The proposed re-development site is also classified as 'possibly contaminated – investigation required', but no specific details are known.
- 7.25 The proposed works are land based only in an area that does not involve boat cleaning and hence unlikely to encounter anti-fouling contaminants.
- 7.26 DWER has advised that it had no objections to the redevelopment given soil disturbance is minimal.

## **8.0 SWAN RIVER TRUST ADVICE**

- 8.1 In accordance with section 75 (3A) of the SCRM Act, the Swan River Trust (the Trust) considered DBCA's draft report at a meeting on 10 December 2019, where the Trust resolved to support the report and recommendation.

## **9.0 CONCLUSION**

- 9.1 The proposed works are not considered to be excessive in scale or bulk and will improve the visual amenity of the foreshore predominantly by combining three buildings into one.
- 9.2 Potential environmental impacts from the works can be addressed through the implementation of an approved CEMP.
- 9.3 For these reasons, the redevelopment proposal is recommended for approval, subject to conditions and advice.

## **10.0 RECOMMENDATION – APPROVAL WITH CONDITIONS**

That the Director General of the Department of Biodiversity, Conservation and Attractions advises the Minister for Environment that the Royal Freshwater Bay Yacht Club's proposal for the demolition and redevelopment of the Junior Sailing Clubhouse, dinghy storage shed, ablution block, parking facilities and fuel storage and dispensing facilities on Lot 2534 on Plan 222326 Hobbs Place, Peppermint Grove (Reserve 17060), as described in the application received on 25 September 2019, be approved, subject to the following conditions and advice notes:

### **CONDITIONS**

1. Approval to implement this decision is valid for two (2) years from the date of the approval. If substantial on-site works have not commenced within this period, a new approval will be required before commencing or completing the development.



### **Prior to the commencement of works**

2. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works (see **Advice Note 1**).
3. Prior to the commencement of works, a Construction Environmental Management Plan shall be submitted to and approved by the Department of Biodiversity, Conservation and Attractions (see **Advice Notes 2 and 6**).
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7. Prior to the commencement of works, final design plans/drawings and technical specifications, including details of the external colours, finishes and materials for the new clubhouse, shall be submitted to and approved by the Department of Biodiversity, Conservation and Attractions (see **Advice Notes 5 and 6**).

### **During works**

8. All works shall be implemented in accordance with the plans approved under **Conditions 3 to 7**.
9. The applicant shall take appropriate preventative measures during the works to ensure that no top soil, runoff or any other deleterious matter is allowed to enter the river.
10. The applicant shall ensure that trees within the construction area are protected through the installation of Tree Protection Zones, which are to remain in place until the completion of works.
11. The applicant shall ensure that fill products used are geotechnically suitable and otherwise fit for their purpose and that they do not cause environmental harm, pollution, unreasonable emissions or unauthorised discharges contrary to the *Environmental Protection Act 1986* or other legislation (refer to Material Guideline – clean fill, Department of Environment Regulation, 2014).
12. The applicant shall ensure that no damage to the foreshore, riverbank, or waterway (including vegetation and infrastructure) occurs beyond the scope of the approved works. If any inadvertent damage occurs, the applicant is required to notify the Department of Biodiversity, Conservation and Attractions within 48 hours of the damage occurring and rectify the damage at its expense.
13. The development shall be connected to the reticulated sewerage system prior to occupation.

### On completion of works

14. Upon completion of the works, all waste materials, equipment and machinery shall be removed, and the site cleaned up to the satisfaction of the Department of Biodiversity, Conservation and Attractions.
15. Within six months of the completion of works, as constructed drawings for the redevelopment, including for the fuel lines that were sealed and left in-situ, shall be submitted to the satisfaction of the Department of Biodiversity, Conservation and Attractions.

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Manual for Western Australia (Department of Water, 2004-2007) and water sensitive urban design (WSUD) principles.

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7. The Department of Water and Environmental Regulation, Contaminated Sites advises that the site is classified under the *Contaminated Sites Act 2003* as 'possibly contaminated – investigation required'. It is recommended that adequate safety measures are implemented to minimise the risk of disturbing suspected contaminated soils.
8. The applicant is advised that the proposed works are located adjacent to an area mapped as having a moderate to low acid sulphate soil risk. The *Acid Sulphate Soils Guideline Series for guidance on the identification, assessment and management of acid sulphate soils in Western Australia* is available from the Department of Water and Environmental Regulation website at [www.dwer.wa.gov.au](http://www.dwer.wa.gov.au). If any acid sulphate soils are exposed during the works, the Contaminated Sites Branch of the Department of Water and Environmental Regulation shall be contacted for further advice on 1300 762 982.
9. All noise levels produced by the development construction are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).

**FINAL REPORT ENDORSED**

Signed: Mark Webb Date: 17/2/2020  
Mark Webb  
Director General

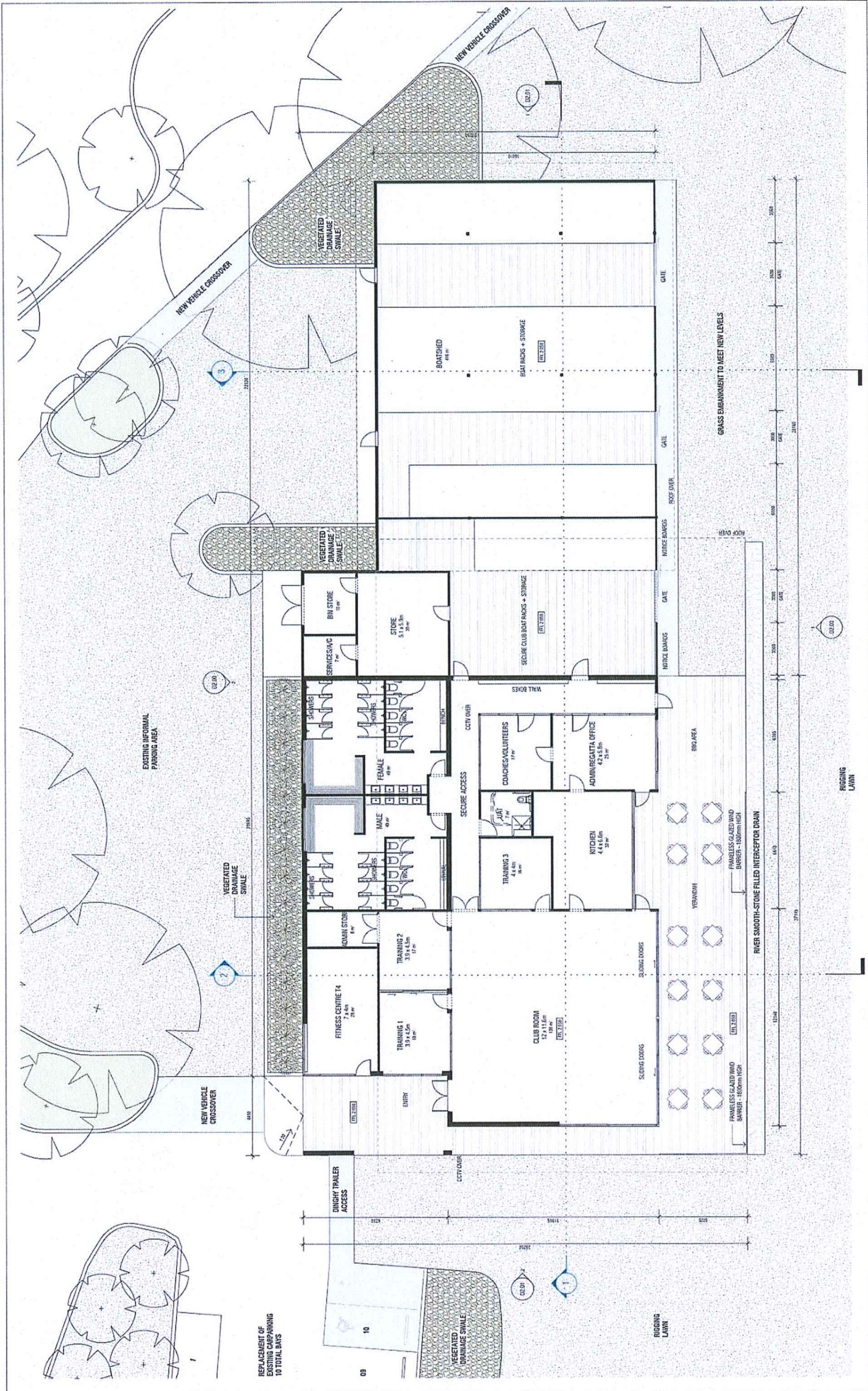












REV. DATE AMENDMENT  
 A 27.06.19 Preliminary Issue  
 B 09.07.19 DA Issue  
 C 29.07.19 DA Issue  
 D 09.08.19 DA Issue

CLIENT RFBYC  
 PROJECT RFBYC Dinghy Clubhouse  
 PROJECT ADDRESS 1 Hobbs Place  
 Peppermint Grove  
 PROJECT STATUS DA  
 ALIA PROJECT NUMBER 18111

DRAWING Floor Plan  
 DRAWING NO. DWAFTER  
 CHECKED REV. D1.10 JS WB D

TRUE NORTH  
 SCALE @ A1 0 1 2 5m  
 1:100

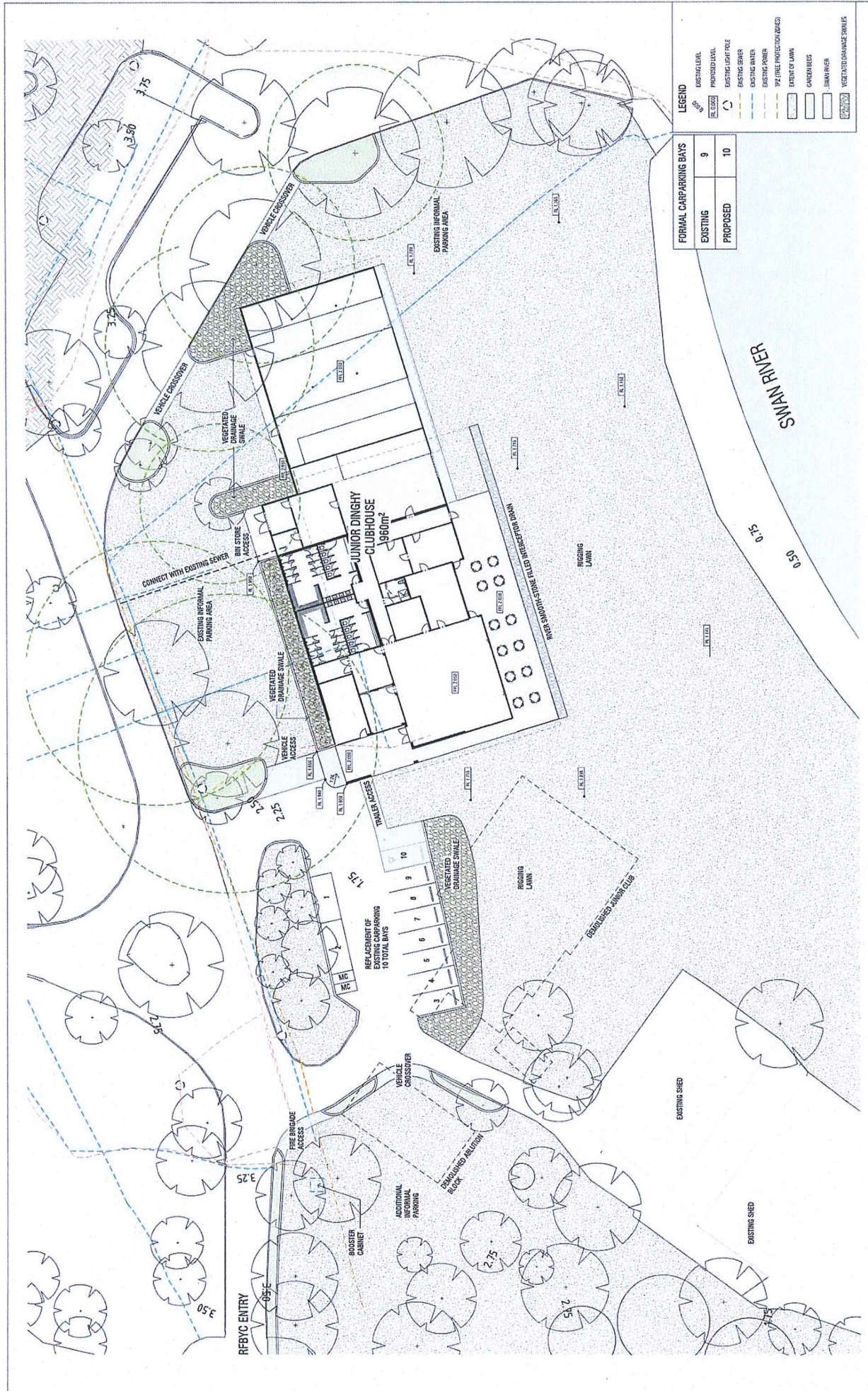
EXISTING INFORMAL PARKING AREA  
 NEW VEHICLE CROSSOVER  
 VEGETATED DRAINAGE SWALE  
 GRASS EMBANKMENT TO MEET NEW LEVELS  
 RIGGING LAWN

REV.	DATE	AMENDMENT	INTL.
A	27.06.19	Preliminary Issue	
B	09.07.19	DA Issue	
C	29.07.19	DA Issue	
D	09.08.19	DA Issue	

REPLACEMENT OF EXISTING CARPARKING TO TOTAL BAYS 19

**MJA** studio  
 LEVEL 1, SUITE 6, 23 RAILWAY ROAD, SUBIACO WA 6008  
 T (08) 9398 0233 www.mjastudio.net | admin@mjastudio.net

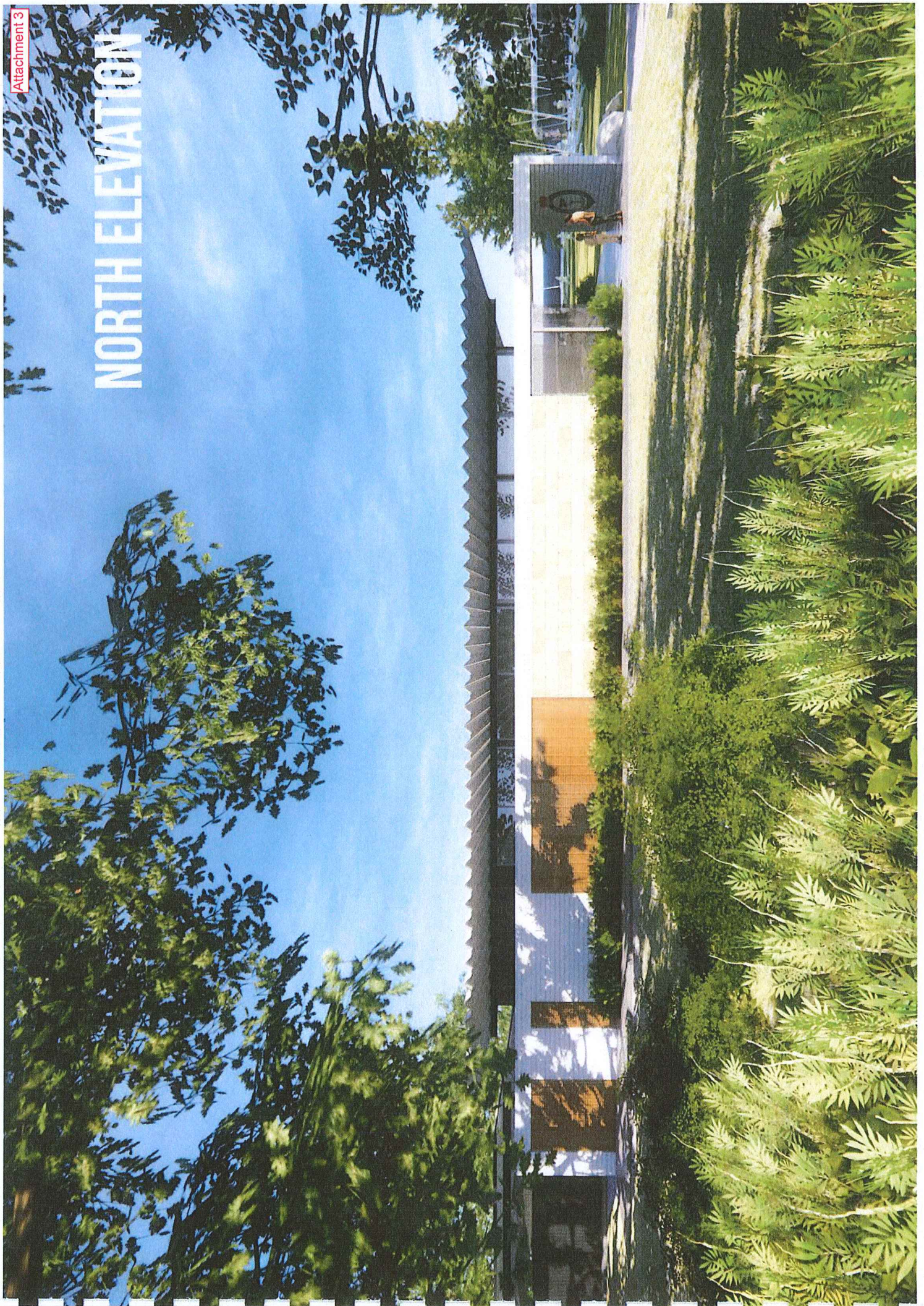




<b>REV.</b>	<b>DATE</b>	<b>AMENDMENT</b>	<b>INTL.</b>	<b>CLIENT</b>	<b>PROJECT</b>	<b>MAJ PROJECT NUMBER</b>	<b>TRUE NORTH</b>	<b>DRAWING</b>
A	27.06.19	Preliminary Issue		RFBYC	RFBYC Dinghy Clubhouse	18111		Proposed Junior Dinghy Site Plan
B	09.07.19	DA Issue			PROJECT ADDRESS		SCALE @ A1	DRAWING NO. DRAFTER CHECKED REV.
C	23.07.19	DA Issue			1 Hobbs Place		0 2 4 10m	
D	02.08.19	DA Issue			Peppermint Grove	DA	1:200	D1.03 JS WB D



# NORTH ELEVATION





# SOUTH ELEVATION





# WEST ELEVATION












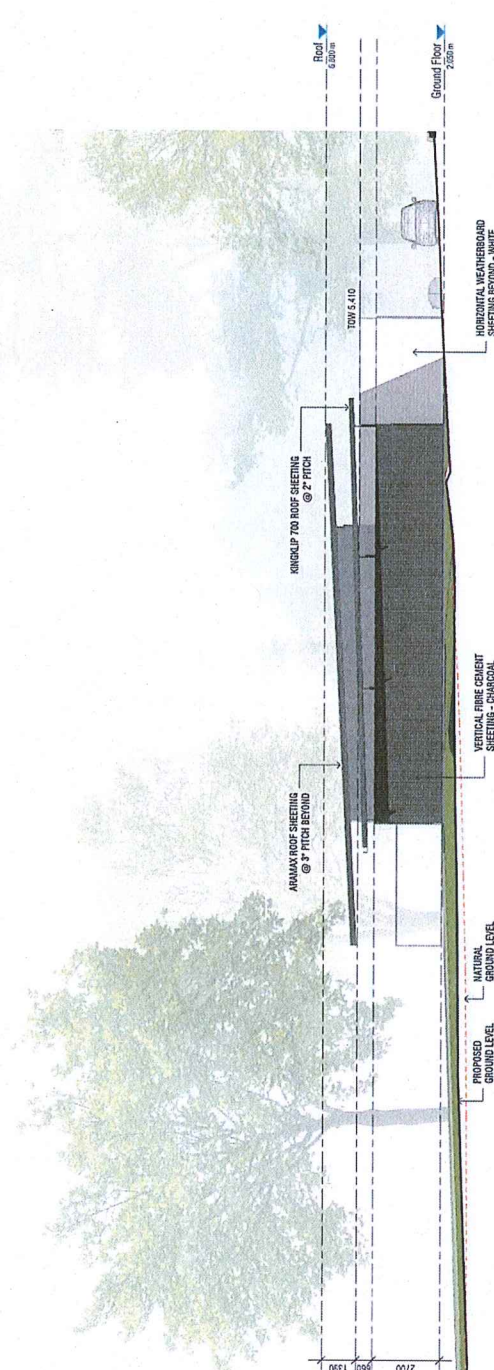




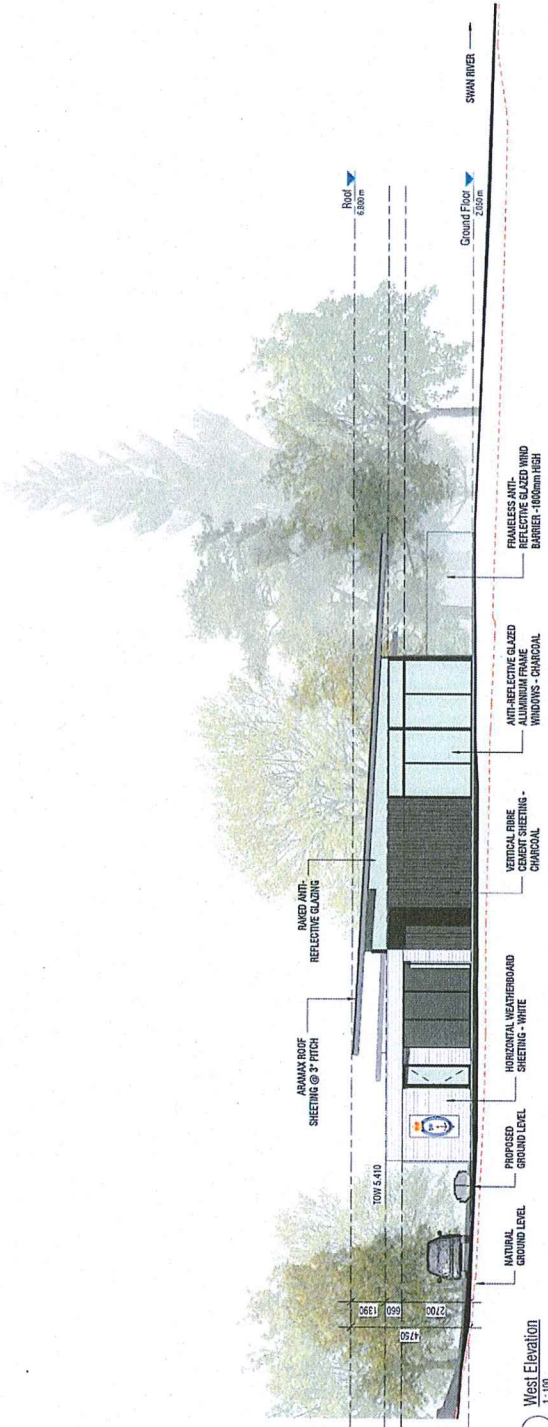


**FINISHES SCHEDULE**

-  HORIZONTAL SMOOTH TEXTURED CEMENT FIBRE WEATHERBOARD - WHITE PAINT FINISH
-  VERTICAL WOODGRAIN TEXTURED FIBRE CEMENT PANEL - CHARCOAL PAINT FINISH
-  ARAMAX FREESPAN ROOF SHEETING - WINDSPRAY
-  KINKCLIP 700 ROOF SHEETING - WINDSPRAY
-  LIMESTONE FEATURE WALL
-  ALUMINIUM TIMBER-LOOK SCREENING
-  GLAZED WALL TILE - ROYAL BLUE
-  GLAZED ALUMINIUM FRAME WINDOWS - CHARCOAL
-  PERFORMED SCREEN - CHARCOAL



1 East Elevation  
1:100



2 West Elevation  
1:100

**MJA**  **studio**

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REV.	DATE	AMENDMENT	INTL.	CLIENT	PROJECT	M/A PROJECT NUMBER	TRUE NORTH	DRAWING
A	19.07.19	DA Issue		RFBYC	RFBYC Dinghy Clubhouse	18111		Elevations
B	28.07.19	DA Issue			PROJECT ADDRESS	PROJECT STATUS	SCALE @ A1	DRAWING NO. DRAFTER CHECKED REV.
C	09.08.19	DA Issue			1 Hobbs Place Peppermint Grove	DA	0 1 2 5m	D2.01 JS WB C
							1:100	