



Swan and Canning Rivers Management Act 2006

PART 5

DETERMINATION OF DEVELOPMENT APPLICATION

FILE NUMBER	:	2020/1548
APPLICANT	:	Thomas Oliver Mills, Riverslea Construction Services, on behalf of the Matilda Bay Restaurant
LANDOWNER	:	Management order to the Conservation Commission of Western Australia
LAND DESCRIPTION	:	Matilda Bay Restaurant – 3 Hackett Drive, Lot 8168 on Plan 171833, Lot 8167 on Plan 171833, Lot 1455 on Plan 32409 (Crown Reserve 17375), Crawley
DEVELOPMENT	:	Renovation of a paved alfresco area including the construction of a vergola, and minor building alterations and additions
VALID FORM 1 RECEIVED	:	22 June 2020
DETERMINATION	:	APPROVAL WITH CONDITIONS

The application to commence development in accordance with the information received on 12 June 2020 is APPROVED subject to the following conditions:

1. Approval to implement this decision is valid for two (2) years from the date of the approval. If substantial on-site works have not commenced within this period, a new approval will be required before commencing or completing the development.

Prior to the commencement of works

2. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works (**Advice Note 1**).
3. Prior to the commencement of works, a Construction Environmental Management Plan shall be submitted to and approved by the Department of Biodiversity, Conservation and Attractions (**Advice Notes 2 and 3**).
4. The materials and finishes of the development are to complement the riverine environment and existing building, to the satisfaction of the Department of Biodiversity, Conservation and Attractions. Details of the materials and finishes are to be submitted for approval prior to the commencement of works (**Advice Note 3**).

5. The applicant shall provide bicycle parking rails for the general public with details of the bicycle parking submitted to and approved by the Department of Biodiversity, Conservation and Attractions (**Advice Note 4**).

During works

6. The approved Construction Environmental Management Plan shall be implemented.
7. The applicant must ensure that the fill products used are geotechnically suitable and otherwise fit for their purpose and that they do not cause environmental harm, pollution, unreasonable emissions or unauthorised discharges.
8. The applicant shall ensure that no damage to the foreshore, riverbank, or waterway (including vegetation and infrastructure) occurs beyond the scope of the approved works. If any inadvertent damage occurs, the applicant is required to notify the Department of Biodiversity, Conservation and Attractions within 48 hours of the damage occurring and rectify the damage at its expense (**Advice Note 5**).

On completion of works

9. Upon completion of the works, all waste materials, equipment and machinery shall be removed, and the site cleaned up to the satisfaction of the Department of Biodiversity, Conservation and Attractions.
10. Apart for during functions or as otherwise agreed by the Department of Biodiversity, Conservation and Attractions, the fabric curtains partly enclosing the alfresco area will be retracted and sightlines through the alfresco area to the river will remain largely unobstructed.

ADVICE TO APPLICANT

1. Notification of commencement of work and plans can be emailed to rivers.planning@dbca.wa.gov.au.
2. The Construction Environmental Management Plan required under **Condition 3** shall describe how the proposed works will be managed to minimise potential environmental impacts and shall address, but not be limited to:
 - scope of works, including demolition and construction methodology;
 - site access and management, including fencing requirements;
 - management of machinery and equipment, including a refuelling procedure and spill response;
 - on-site storage and bunding of materials (sediment control), equipment, chemicals and fuel (no storage of material on the grassed foreshore will be permitted);
 - protection of the river (and nearby stormwater drains) from inputs of debris, rubbish or other deleterious material;
 - waste and material disposal;
 - protection of vegetation;
 - air and dust management;
 - traffic management, including parking arrangements for work contractors;
 - site security;
 - public access and safety;
 - dewatering management (if required);
 - hours of operation and schedule of works; and
 - complaints and incidents.

A site map showing the laydown area, vehicle entry/exit points and pedestrian management (e.g. road closures, alternative routes and public safety signage) shall be included. Emergency spill kits shall be onsite at all times and refuelling of land-based vehicles or machinery is to be undertaken outside the Swan Canning Development Control Area. In the case of pollution events, the Department of Biodiversity, Conservation and Attractions shall be contacted immediately on 9278 0981 (Riverpark Duty Officer) or 9480 9924 (Marine Pollution Response). Sand, soil, and any other finely grained material that is exposed or stockpiled on site shall be managed to prevent sediment mobilisation and discharge into the Swan River.

All trees within the vicinity of the proposed works will need to be protected in accordance with *Australian Standard AS 4970-2009: Protection of trees on development sites*. Tree protection zones should be identified and fenced to restrict access and to avoid damage to the trees during works. Traffic management controls should be prepared by accredited personnel for various phases of the construction, including any proposed closures.

3. To allow sufficient time for the Department of Biodiversity, Conservation and Attractions to consider and approve the plans and details required under **Conditions 3** and **4**, the documents shall be submitted at least 42 days before the expected works commencement date.
4. In regard to **Condition 5**, bicycle parking spaces are to be provided as per *AS2890.3:2015 Bicycle Parking Facilities Requirements*. The bicycle parking spaces are to be contained within the lease area.
5. In regard to **Condition 8**, in case of damage or pollution events, the Department of Biodiversity, Conservation and Attractions can be contacted on 9278 0981 (Riverpark Duty Officer) or 9480 9924 (Marine Pollution Response).
6. The applicant is hereby notified that in addition to the Building Code of Australia (BCA) requirements for providing access for people with a disability, it is the responsibility of the applicant to ensure the development complies with the *Disability Discrimination Act 1992* and the Disability (Access to Premises - Buildings) Standards 2010.

Further information about universal access can be obtained from the following Advisory Board and the relevant Federal and State Government Department - City of Perth's Access and Inclusion Advisory Group (AIAG):
<https://cityofperth.sharepoint.com/sites/CMS/SitePages/Access-and-Inclusion-Advisory-Group.aspx?web=1>

The Western Australian Department of Communities – Disability Services:
http://www.disability.wa.gov.au/understanding-disability1/understanding-disability/accessibility/built_environment/

7. The City of Perth has advised that a building permit is required to be submitted and approved by the City of Perth prior to undertaking building work.
8. The City of Perth has advised that the building, or any part thereof, shall not be occupied until an Occupancy Permit has been issued by the City of Perth.
9. The applicant is advised that the proposed works are located within a high to moderate and moderate to low acid sulfate soil risk area. The *Acid Sulfate Soils Guideline Series for guidance on the identification, assessment and management of acid sulphate soils in Western Australia* is available from the Department of Water and Environmental

Regulation website at www.dwer.wa.gov.au. If any acid sulfate soils are exposed during the works, the Contaminated Sites Branch of the Department of Water and Environmental Regulation should be contacted for further advice on 1300 762 982.

10. The applicant is advised that it is an offence under the Swan and Canning Rivers Management Regulations 2007 to destroy, pull up, cut back or injure any tree, shrub or perennial plant that is on land within the Swan Canning Development Control Area, except with the approval of the Department of Biodiversity, Conservation and Attractions.
11. The Department of Biodiversity, Conservation and Attractions recommends the use of local native species when landscaping within the foreshore reserve. A suggested species list for the area can be provided on request.



Hon Stephen Dawson MLC
MINISTER FOR ENVIRONMENT

Date: 25/1/20

DEPARTMENT OF BIODIVERSITY, CONSERVATION AND ATTRACTIONS REPORT

PROPOSAL	: Renovation of a paved alfresco area including the construction of a vergola, and minor building alterations and additions
LOCATION	: Matilda Bay Restaurant – 3 Hackett Drive, Lot 8168 on Plan 171833, Lot 8167 on Plan 171833, Lot 1455 on Plan 32409 (Crown Reserve 17375), Crawley
COST	: \$250,000
APPLICANT	: Thomas Oliver Mills, Riverslea Construction Services, on behalf of the Matilda Bay Restaurant
LANDOWNER	: Management order to the Conservation Commission of Western Australia
LOCAL GOVERNMENT	: City of Perth
MRS CLASSIFICATION	: Parks and Recreation
DECISION TYPE	: Part 5, <i>Swan and Canning Rivers Management Act 2006</i> , Ministerial Determination
ATTACHMENTS	: 1. Location map (2 pages) 2. City of Perth comments (3 pages) 3. Lease Area (1 page) 4. Proposed site plans (12 pages)
RECOMMENDATION	: APPROVAL WITH CONDITIONS

REPORT

1.0 INTRODUCTION

- 1.1 The Department of Biodiversity, Conservation and Attractions (DBCA) has received an application from Mr Thomas Oliver Mills, Riverslea Construction Services, on behalf of the Matilda Bay Restaurant proposing to renovate the existing Matilda Bay Restaurant alfresco area through the construction of a vergola, installation of raised planter boxes around the edge of the alfresco area, removal and replacement of the alfresco flooring, and minor external and internal building modifications at Lot 8168 on Plan 171833, part of Lot 8167 on Plan 171833 and part of Lot 1455 on Plan 32409 (Crown Reserve 17375) (3) Hackett Drive, Crawley (**Attachment 1**). The subject land is reserved for Parks and Recreation under the Metropolitan Region Scheme.
- 1.2 The proposed development is to occur on land entirely within the Swan Canning Development Control Area and therefore requires an approval from the Minister for

Environment in accordance with Part 5 of the *Swan and Canning Rivers Management Act 2006* (SCRM Act).

- 1.3 The Director General of DBCA has prepared this report in accordance with section 76 of the SCRM Act.

2.0 CONSULTATION

City of Perth

- 2.1 The City of Perth (the City) advises that it supports the proposal, and has provided the following recommendations/advice:
- The City has determined that a Bushfire Attack Level assessment is not required;
 - The building owner/developer is required to comply with the *Disability Discrimination Act 1992* and the Disability (Access to Premises – Buildings) Standard 2010, to ensure universal access;
 - A building permit is required to be submitted and approved prior to undertaking building work; and
 - The building or any part thereof, shall not be occupied until the City has issued an Occupancy Permit to the owner.
- 2.2 The City's full comments are provided in **Attachment 2**.

3.0 PUBLIC CONSULTATION – SUBMISSIONS ON DRAFT REPORT

- 3.1 In accordance with the requirements of Part 5 of the SCRM Act, a copy of the draft report and proposed recommendation was provided to the applicant and the relevant stakeholder being the City. A copy was also published on the DBCA website for a period of two (2) weeks between 11 September 2020 and 29 September 2020 with an invitation for public submissions.
- 3.2 One (1) submission was received from the City on 21 September 2020 to advise that it has no additional comments.

4.0 RELEVANT POLICIES AND PLANS

- ◆ State Planning Policy 2.10 – *Swan-Canning River System* (SPP 2.10)
- ◆ Corporate Policy Statement No. 42 – *Planning for Land Use, Development and Permitting Affecting the Swan Canning Development Control Area* (Policy 42)
- ◆ Corporate Policy Statement No. 46 – *Planning for Commercial Operations in the Swan Canning Development Control Area* (Policy 46)
- ◆ Corporate Policy Statement No. 49 – *Planning for Stormwater Management Affecting the Swan Canning Development Control Area* (Policy 49)

5.0 ENVIRONMENTAL AND PLANNING CONSIDERATIONS

- ◆ Environmental Protection
- ◆ Amenity
- ◆ Acid Sulphate Soils
- ◆ Stormwater Management
- ◆ Public Access and Safety

6.0 BACKGROUND

- 6.1 Matilda Bay Restaurant is located within the Swan River foreshore at Matilda Bay Reserve, Crawley. Matilda Bay Reserve is vested via a management order to the Conservation Commission of Western Australia (now Conservation and Parks Commission).
- 6.2 The Matilda Bay Restaurant was granted a deed of lease by the then Department of Conservation and Land Management (on behalf of the then National Parks and Nature Conservation Authority) in 1994 for 21 years which was then extended in 2015 for a further 21 years. The deed of lease area includes Lot 8168 in its entirety and parts of Lot 8167 and Crown Reserve 17375 (**Attachment 3**).
- 6.3 The existing Matilda Bay Restaurant consists of an alfresco area, kitchen, formal dining areas, restrooms and offices on the ground floor and formal dining area, office, bar, and kitchen on the first floor.
- 6.4 The current application proposes the following (**Attachment 4**):
- Replacement of existing alfresco floor pavers with a floor slab;
 - Construction of a vergola;
 - Minor internal building modifications;
 - External painting;
 - Replacement of gutters on the north-west side of the building; and
 - Construction of raised planter boxes to partly enclose the alfresco area.
- 6.5 The proposed vergola will be tied into the existing building and will be 5.1 metres Above Finished Floor Level (AFFL) and at its highest point approximately 5.6 metres above the Natural Ground Level in the adjacent reserve. The vergola will extend into the alfresco area by approximately 2 metres from the edge of the main building and will be 8.9 metres long; covering approximately 37 per cent of the alfresco area.
- 6.6 All proposed works will be located within the deed of lease area.
- 6.7 The Conservation and Parks Commission is providing support for a change in liquor licence from a restaurant licence to a tavern licence, which would allow for the service of food and alcohol to patrons while standing. The liquor licence variation will allow the lessee to cater for more contemporary styles of functions. The applicant has advised that the alfresco area will still only be used for functions and will not be available for the wider public or non-function related visitors to the Matilda Bay Restaurant.
- 6.8 A lease variation may be required to support a change in liquor licence, however, this is still being investigated.

7.0 DISCUSSION

Environmental Protection

- 7.1 Policy 42 aims to ensure that land use and development on and adjacent to the river system maintains and enhances the quality and amenity of the river environment. The proposed development should be carefully undertaken to prevent detrimental impacts to the foreshore area.

- 7.2 The foreshore area surrounding Matilda Bay Restaurant is open parkland with a number of trees. The proposed works will not result in an increase of the building footprint and therefore no vegetation removal has been proposed. However, a *Eucalyptus camaldulensis* (river red gum) is located approximately 5.5 metres north east of the alfresco which may result in the proposed vergola being within the footprint of minor overhanging branches.
- 7.3 To ensure that all potential environmental impacts are identified and managed appropriately, a Construction Environmental Management Plan (CEMP) should be required as a condition of approval and include details of vegetation protection, ground excavation/disturbance, management of machinery and equipment (including refuelling), public access and safety, traffic management, hours of operation, noise and vibration control, air and dust management, sediment control, demolition and construction methodology, storage of materials and equipment, spill response and waste management.

Amenity

- 7.4 Policy 42 states that the design, materials and colour scheme of developments adjacent to the river and foreshores should complement and protect the character and landscape setting of the river.
- 7.5 The design drawings provided with the application indicate that the proposed vergola will be supported by five (5) structural steel frames that will be covered by Compressed Fibre Cement (CFC) façade cladding. No finish details on the CFC façade cladding have been provided. Lateral bracing beams associated with the vergola will be painted white. The proposed alfresco concrete flooring will have an aggregate finish and the garden beds will be formed by constructed raised masonry planters to a height of approximately 0.6 – 0.8 metres. No detail of the external painting has been provided.
- 7.6 It can be ensured through a condition of approval that all details of the external colours and finishes are provided to DBCA before works commence in order to ensure that there is no adverse impact on the visual amenity of the area.
- 7.7 The applicant proposes to install new retractable fabric curtains along the lateral bracing beams that will be pulled down during functions to provide more privacy. The retractable fabric curtains will be located along the majority of the south-east and north-east sections, and partly on the north east section of the alfresco. The north-east section of the alfresco (river facing side) will remain open in order to maintain the view from the alfresco area.
- 7.8 Apart from during functions, the fabric curtains will be retracted and sightlines through the alfresco area to the river will remain largely unobstructed.

Acid Sulphate Soils

- 7.9 The proposed works are to be undertaken within a high to moderate and moderate to low acid sulphate soils (ASS) disturbance risk area. The proposed works may require minor ground excavation during alterations to the alfresco area and the construction of the vergola.
- 7.10 The potential for disturbance of ASS during the construction works is considered to be minor and can be addressed through an advice note on the approval.

Stormwater Management

- 7.11 Policy 49 generally requires stormwater runoff from constructed impervious surfaces generated by minor rainfall events (i.e. first 15mm) to be managed on site, or if the local government consents, connected to the local drainage system.
- 7.12 Whilst no details regarding stormwater management for the proposed building works have been provided, the applicant has advised that stormwater is currently managed via a soak well located underneath the alfresco area. The applicant has further advised that the soak well will remain underneath the alfresco area.
- 7.13 As the building alterations/additions will not result in an increase of impervious surfaces, the volume of stormwater to be managed is not anticipated to increase.

Public Access and Safety

- 7.14 SPP 2.10 states that public access to the river and foreshore should be maintained while protecting the river. It is important that development near the river does not impede or restrict public access.
- 7.15 Whilst there are no paths in close enough proximity to the works to be impacted, the foreshore area that abuts the waters of the Swan River is regularly used by the public. To ensure works do not adversely impact public access and safety along the foreshore, it is recommended these issues be addressed as part of the conditioned CEMP.
- 7.16 Matilda Bay Reserve is a popular area with a variety of visitors including students from The University of Western Australia, walkers, cyclists, rowers and picnickers. Policy 46 states that consideration is to be given to the provision of bicycle parking. The closest bicycle parking area is located approximately 320 metres north-east of Matilda Bay Restaurant.
- 7.17 To increase accessibility to the area for the public, it is considered appropriate to request a bicycle parking space to be provided at Matilda Bay Restaurant for the use of the general public. This will be provided as advice to the applicant.

8.0 SWAN RIVER TRUST

- 8.1 In accordance with section 75(3A) of the SCRM Act, the Swan River Trust considered DBCA's draft report at its meeting of 11 August 2020 and resolved to advise the Director General of DBCA that it recommends the application be approved subject to the conditions outlined in DBCA's draft report.

9.0 CONCLUSION

- 9.1 Policy 46 states that commercial facilities should be planned, designed, constructed and managed to enhance the community's use and enjoyment of the Swan Canning river system.
- 9.2 The current proposal seeks to renovate the existing Matilda Bay Restaurant and to further formalise and make use of the alfresco area during functions. It is anticipated that the proposal will not have any adverse impact on the foreshore area. The proposal is therefore considered acceptable.

- 9.3 For these reasons, the proposal is recommended for approval, subject to conditions and advice.

10.0 RECOMMENDATION – APPROVAL WITH CONDITIONS

That the Director General of DBCA advises the Minister for Environment that Matilda Bay Restaurant's proposal to renovate a paved alfresco area including the construction of a vergola, installation of raised planter boxes to partly enclose the alfresco area, and minor building alterations and additions at Matilda Bay Reserve, within Lot 8168 on Plan 171833, Lot 8167 on Plan 171833, Lot 1455 on Plan 32409 (Crown Reserve 17375), 3 Hackett Drive, Crawley, as described in the application received on 12 June 2020 (validated 22 June 2020), be approved, subject to the following conditions:

1. Approval to implement this decision is valid for two (2) years from the date of the approval. If substantial on-site works have not commenced within this period, a new approval will be required before commencing or completing the development.

Prior to the commencement of works

2. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works (**Advice Note 1**).
3. Prior to the commencement of works, a Construction Environmental Management Plan shall be submitted to and approved by the Department of Biodiversity, Conservation and Attractions (**Advice Notes 2 and 3**).
4. The materials and finishes of the development are to complement the riverine environment and existing building, to the satisfaction of the Department of Biodiversity, Conservation and Attractions. Details of the materials and finishes are to be submitted for approval prior to the commencement of works (**Advice Note 3**).
5. The applicant shall provide bicycle parking rails for the general public with details of the bicycle parking submitted to and approved by the Department of Biodiversity, Conservation and Attractions.

During works

6. The approved Construction Environmental Management Plan shall be implemented.
7. The applicant must ensure that the fill products used are geotechnically suitable and otherwise fit for their purpose and that they do not cause environmental harm, pollution, unreasonable emissions or unauthorised discharges.
8. The applicant shall ensure that no damage to the foreshore, riverbank, or waterway (including vegetation and infrastructure) occurs beyond the scope of the approved works. If any inadvertent damage occurs, the applicant is required to notify the Department of Biodiversity, Conservation and Attractions within 48 hours of the damage occurring and rectify the damage at its expense (**Advice Note 5**).

On completion of works

9. Upon completion of the works, all waste materials, equipment and machinery shall be removed, and the site cleaned up to the satisfaction of the Department of Biodiversity, Conservation and Attractions.
10. Apart from during functions or as otherwise agreed by the Department of Biodiversity, Conservation and Attractions, the fabric curtains partly enclosing the alfresco area will be retracted and sightlines through the alfresco area to the river will remain largely unobstructed.

ADVICE TO APPLICANT

1. Notification of commencement of work and plans can be emailed to rivers.planning@dbca.wa.gov.au.
2. The Construction Environmental Management Plan required under **Condition 3** shall describe how the proposed works will be managed to minimise potential environmental impacts and shall address, but not be limited to:
 - a. scope of works, including demolition and construction methodology;
 - b. site access and management, including fencing requirements;
 - c. management of machinery and equipment, including a refuelling procedure and spill response;
 - d. on-site storage and bunding of materials (sediment control), equipment, chemicals and fuel (no storage of material on the grassed foreshore will be permitted);
 - e. protection of the river (and nearby stormwater drains) from inputs of debris, rubbish or other deleterious material;
 - f. waste and material disposal;
 - g. protection of vegetation;
 - h. air and dust management;
 - i. traffic management, including parking arrangements for work contractors;
 - j. site security;
 - k. public access and safety;
 - l. dewatering management (if required);
 - m. hours of operation and schedule of works; and
 - n. complaints and incidents.

A site map showing the laydown area, vehicle entry/exit points and pedestrian management (e.g. road closures, alternative routes and public safety signage) shall be included. Emergency spill kits shall be onsite at all times and refuelling of land-based vehicles or machinery is to be undertaken outside the Swan Canning Development Control Area. In the case of pollution events, the Department of Biodiversity, Conservation and Attractions shall be contacted immediately on 9278 0981 (Riverpark Duty Officer) or 9480 9924 (Marine Pollution Response). Sand, soil, and any other finely grained material that is exposed or stockpiled on site shall be managed to prevent sediment mobilisation and discharge into the Swan River.

All trees within the vicinity of the proposed works will need to be protected in accordance with *Australian Standard AS 4970-2009: Protection of trees on development sites*. Tree protection zones should be identified and fenced to restrict access and to avoid damage to the trees during works. Traffic management controls should be prepared by accredited personnel for various phases of the construction, including any proposed closures.

3. To allow sufficient time for the Department of Biodiversity, Conservation and Attractions to consider and approve the plans and details required under **Conditions 3 and 4**, the

documents shall be submitted at least 42 days before the expected works commencement date.

4. In regard to **Condition 5**, bicycle parking spaces are to be provided as per *AS2890.3:2015 Bicycle Parking Facilities Requirements*. The bicycle parking spaces are to be contained within the lease area.
5. In regard to **Condition 8**, in case of damage or pollution events, the Department of Biodiversity, Conservation and Attractions can be contacted on 9278 0981 (Riverpark Duty Officer) or 9480 9924 (Marine Pollution Response).
6. The applicant is hereby notified that in addition to the Building Code of Australia (BCA) requirements for providing access for people with a disability, it is the responsibility of the applicant to ensure the development complies with the *Disability Discrimination Act 1992* and the Disability (Access to Premises - Buildings) Standards 2010.

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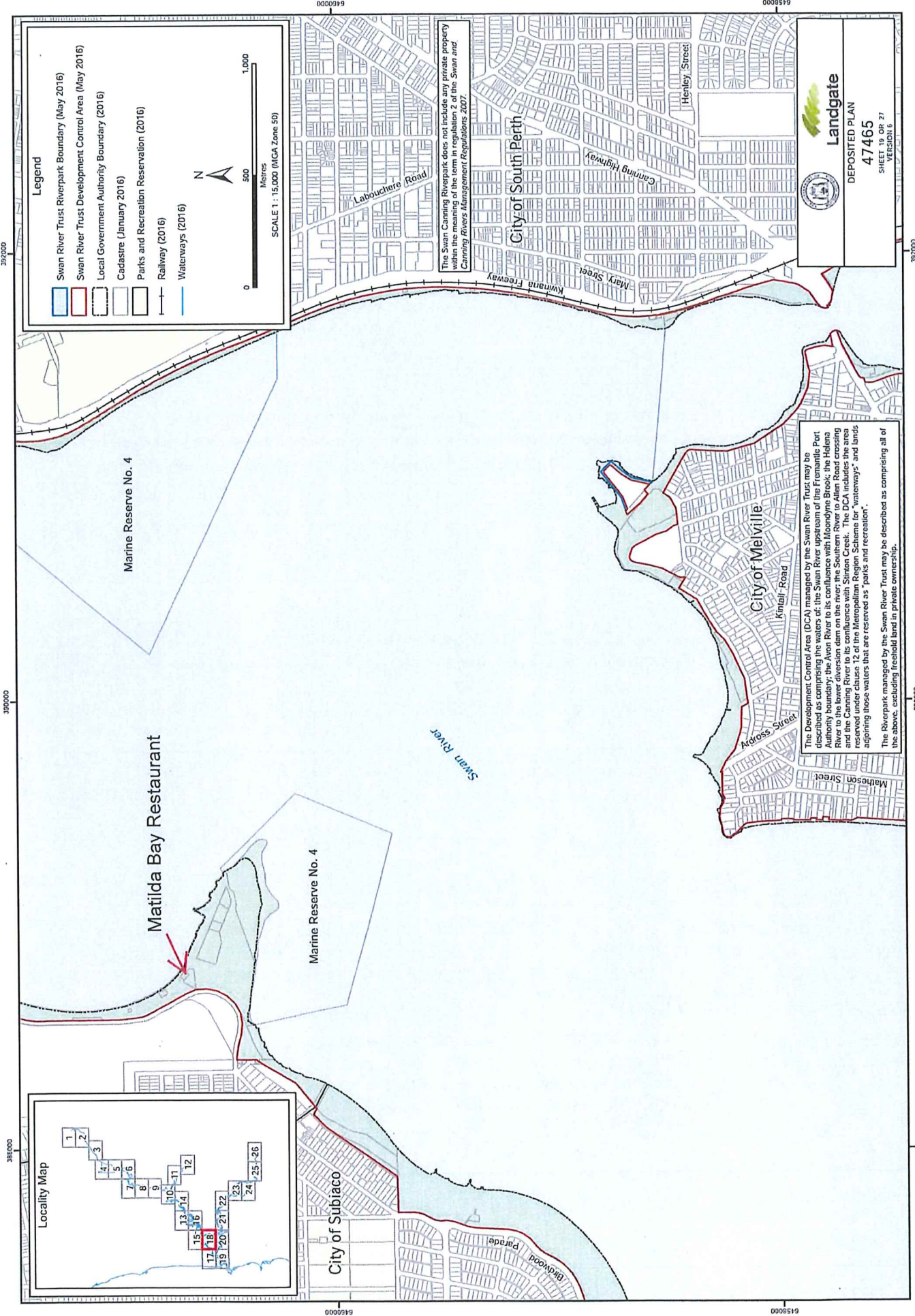
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7. The City of Perth has advised that a building permit is required to be submitted and approved by the City of Perth prior to undertaking building work.
8. The City of Perth has advised that the building, or any part thereof, shall not be occupied until an Occupancy Permit has been issued by the City of Perth.
9. The applicant is advised that the proposed works are located within a high to moderate and moderate to low acid sulphate soil risk area. The *Acid Sulphate Soils Guideline Series for guidance on the identification, assessment and management of acid sulphate soils in Western Australia* is available from the Department of Water and Environmental Regulation website at www.dwer.wa.gov.au. If any acid sulphate soils are exposed during the works, the Contaminated Sites Branch of the Department of Water and Environmental Regulation should be contacted for further advice on 1300 762 982.
10. The applicant is advised that it is an offence under the Swan and Canning Rivers Management Regulations 2007 to destroy, pull up, cut back or injure any tree, shrub or perennial plant that is on land within the Swan Canning Development Control Area, except with the approval of the Department of Biodiversity, Conservation and Attractions.
11. The Department of Biodiversity, Conservation and Attractions recommends the use of local native species when landscaping within the foreshore reserve. A suggested species list for the area can be provided on request.

FINAL REPORT ENDORSED

Signed: Mark Webb Date: 20/11/20
Mark Webb
Director General

Attachment 1



Attachment 1: Location Map

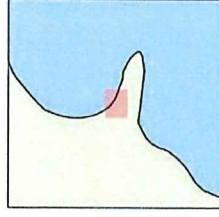
Legend

- Swan River - Development Control Area (DD)
- Cadastral
- path_central

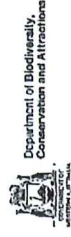
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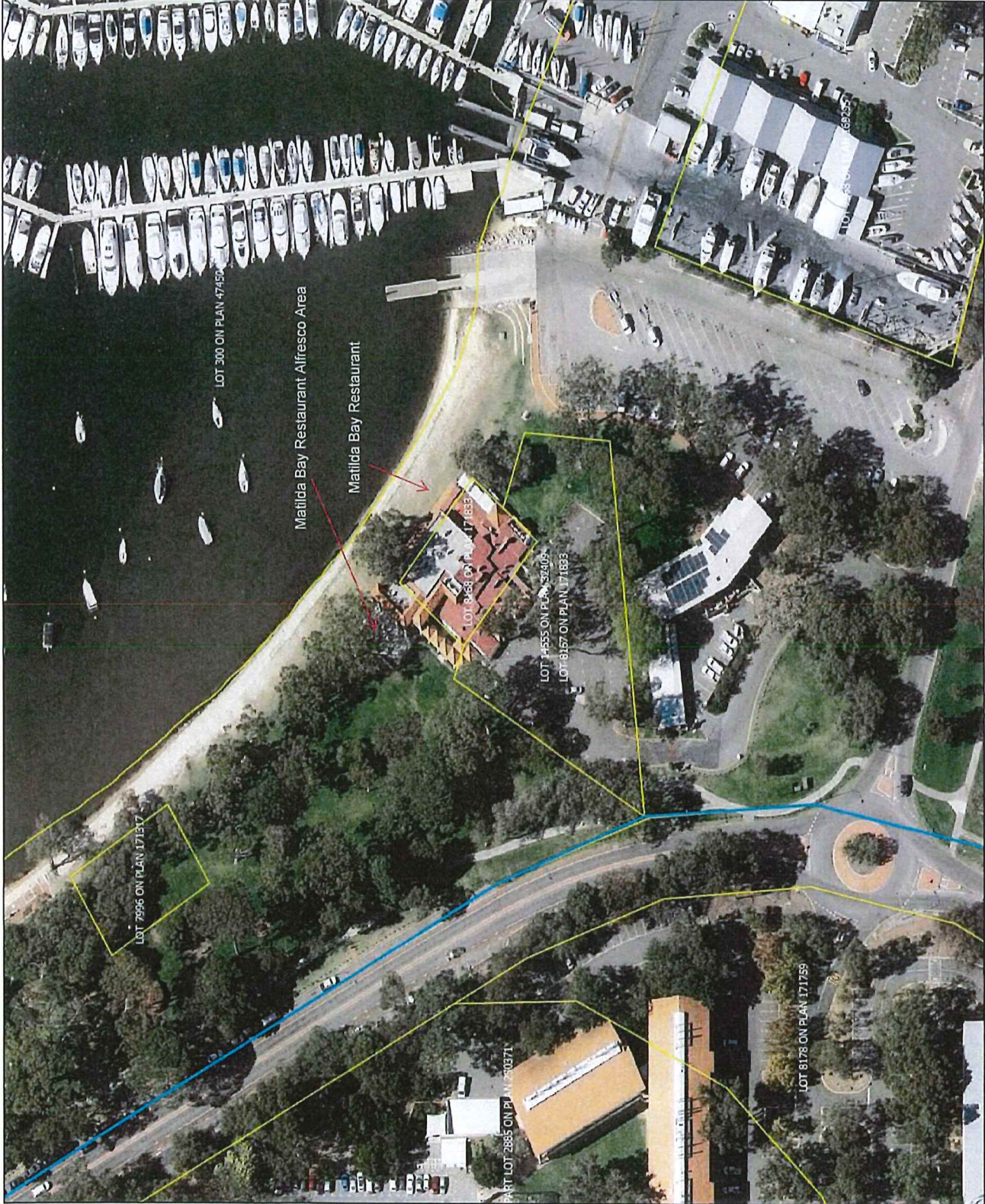
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Department of Biodiversity
Conservation and Attractions



Job Ref: 20/1548
Produced at 02:14 PM on July 22, 2020



The Department of Biodiversity, Conservation and Attractions does not guarantee that this map is without flaw or depicts all liability for any errors, loss or other consequences which may arise from relying on any information depicted. Roads and tracks in land managed by DBCA may contain unmarked hazards and their surface conditions is variable. Exercise caution and drive to conditions on all roads.

PRELIMINARY ADVICE

DA-2020/5107

4 Australia II Drive, CRAWLEY

BUILDING ADVICE

AN02 Disability Discrimination Act

The building owner/developer is hereby notified that in addition to the Building Code of Australia (BCA) requirements for providing access for people with a disability, it is the responsibility of the building owner/developer to ensure the development complies with the Disability Discrimination Act 1992 and the Disability (Access to Premises - Buildings) Standards 2010.

Further information about universal access can be obtained from the following Advisory Board and the relevant Federal and State Government Department -

City of Perth's Access and Inclusion Advisory Group (AIAG):
<https://cityofperth.sharepoint.com/sites/CMS/SitePages/Access-and-Inclusion-Advisory-Group.aspx?web=1>

The Western Australia Department of Communities – Disability Services:
http://www.disability.wa.gov.au/understanding-disability1/understanding-disability/accessibility/built_environment/

BPR Building permit required

A building permit is required to be submitted and approved prior to undertaking building work.

BG07 Occupancy Permit

The building or any part thereof, shall not be occupied until this Council has issued an Occupancy Permit to the owner.

12 June 2020

Mr Glen McLeod-Thorpe
Manager Statutory Assessments
Department of Biodiversity, Conservation and Attractions
Locked Bag 104
Bentley Delivery Centre WA 6983

Dear Mr McLeod-Thorpe,

4 AUSTRALIA II DRIVE, CRAWLEY – CONSTRUCTION OF A PAVED ALFRESCO AREA WITH VERGOLA ATTACHED TO THE MATILDA BAY RESTAURANT

The City is in receipt of an application dated 11 May 2020 proposing the construction of a paved alfresco area with a 'vergola' attached to the Matilda Bay Restaurant.

As the site is located within the Swan Canning Development Control Area, the application is referred to the Department of Biodiversity, Conservation and Attractions (DBCA) for its determination under the *Swan Canning Rivers Management Act 2006*, with a recommendation of approval subject to the following advice: -

The Department of Biodiversity, Conservation and Attractions is advised that although a large area of the subject lot is deemed to be a bushfire prone area, the City has determined that a BAL assessment is not required. The proposed works are not occurring within land indicated as bushfire prone and it does not result in any intensification of the land use, an increase of residents or employees, involve the occupation of employees for a considerable amount of time, or result in an increase to the overall bushfire threat.

The applicant should also be advised that no building works should proceed prior to the City issuing a building permit. The City requires any building permit application to be accompanied by written confirmation that the conditions of planning approval and the building permit plans have been cleared to DBCA's satisfaction.

The applicant should also be advised that an application for an Occupancy Permit (BA9) needs to be submitted to the City for approval. Derek Wakefield is available on 08 9461 3426 to assist with any queries you may have in relation to this application.

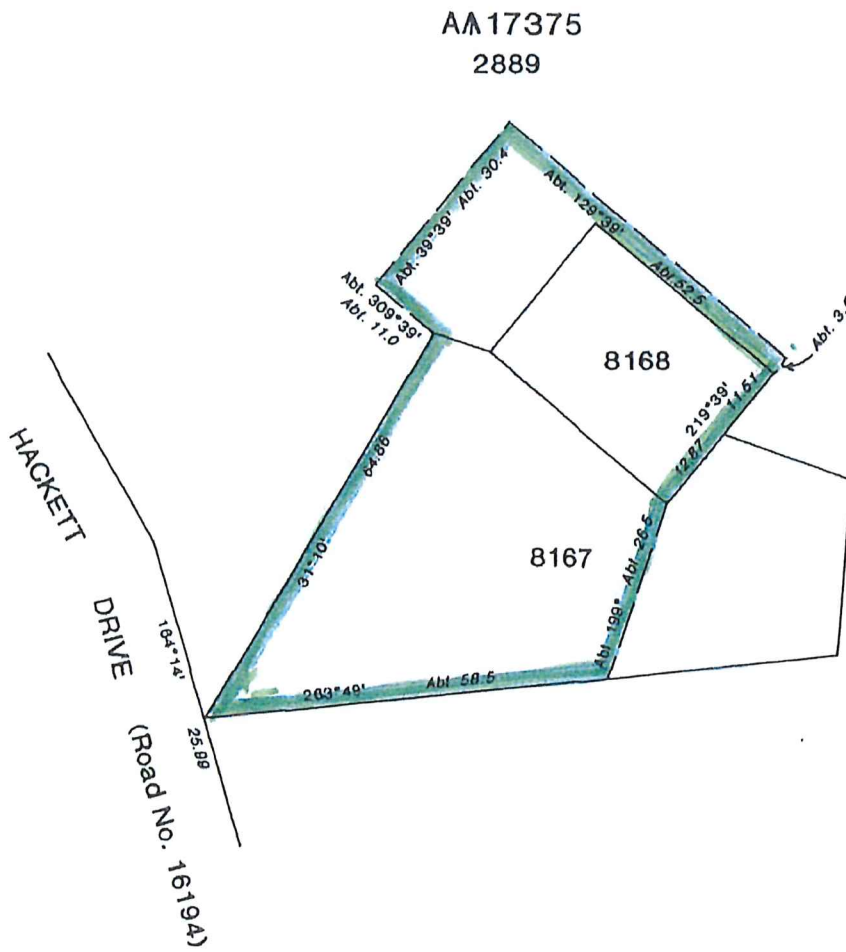
Attachment 2

Ben Sharman of the City's Development Approvals Unit is available on 08 9461 3184 to assist you with any further queries you may have relating to this matter.

Yours sincerely,

A handwritten signature in black ink, appearing to read "Margaret Smith". The signature is written in a cursive style with a large initial 'M' and a long, sweeping tail.

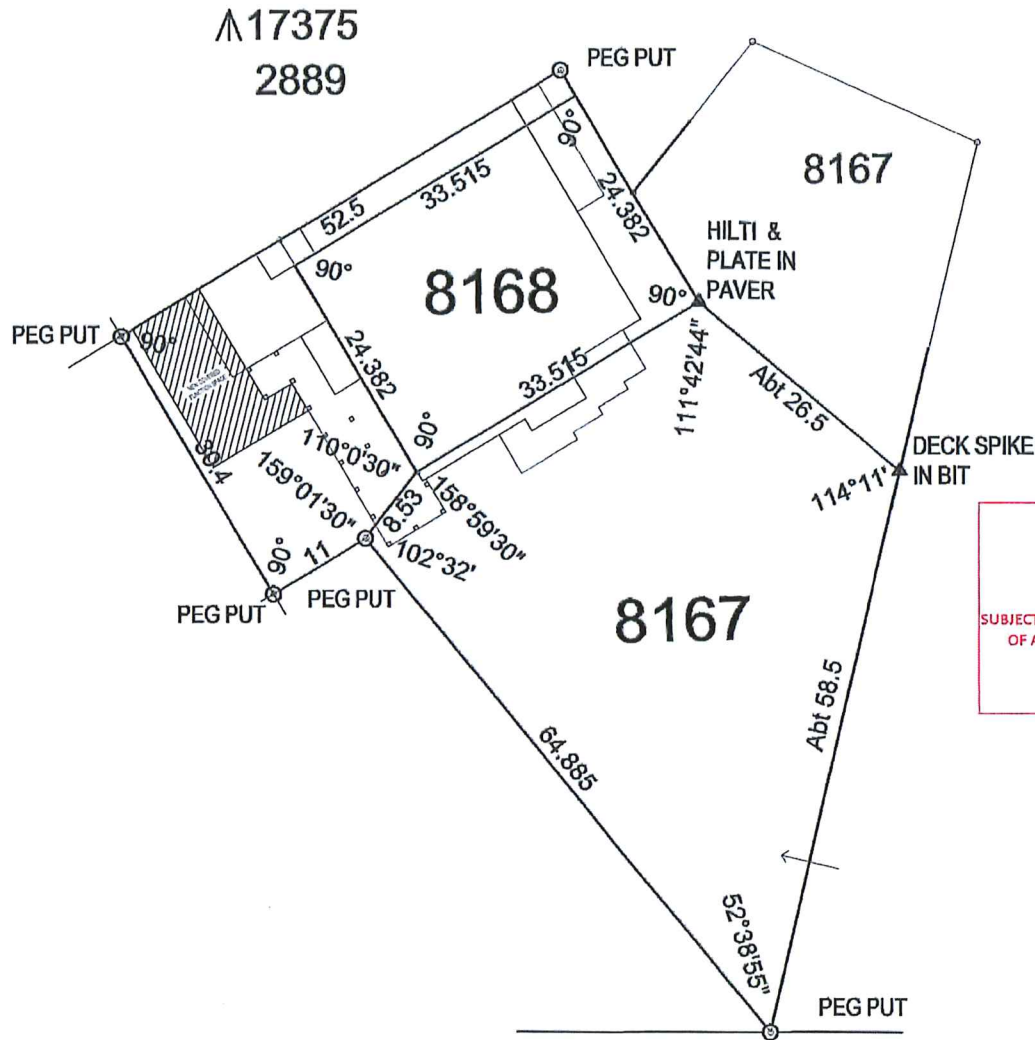
MARGARET SMITH
ALLIANCE MANAGER DEVELOPMENT APPROVALS



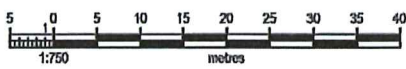
PLAN 5

Subject to Survey

MATILDA BAY RESTAURANT LEASE					
LESSEE	CANDRIN PTY. LTD.				
LAND DISTRICT	SWAN	DRAWN	AC 14.5.93	SCALE	
CALM DISTRICT	PERTH	CHECKED	G.L.H. 14.5.93	1:1000	
PLAN	PERTH (2) BG34/11.21	FILE REF.	025229	AREA	
				Abt. 3570m ²	Conservation and Land Management Department - Western Australia



CITY OF PERTH
 APPROVED
 DA NO. DA-2020/5197
 SUBJECT TO CONDITIONS ON THE NOTICE
 OF APPROVAL DATED 12/05/2020
 bsharman
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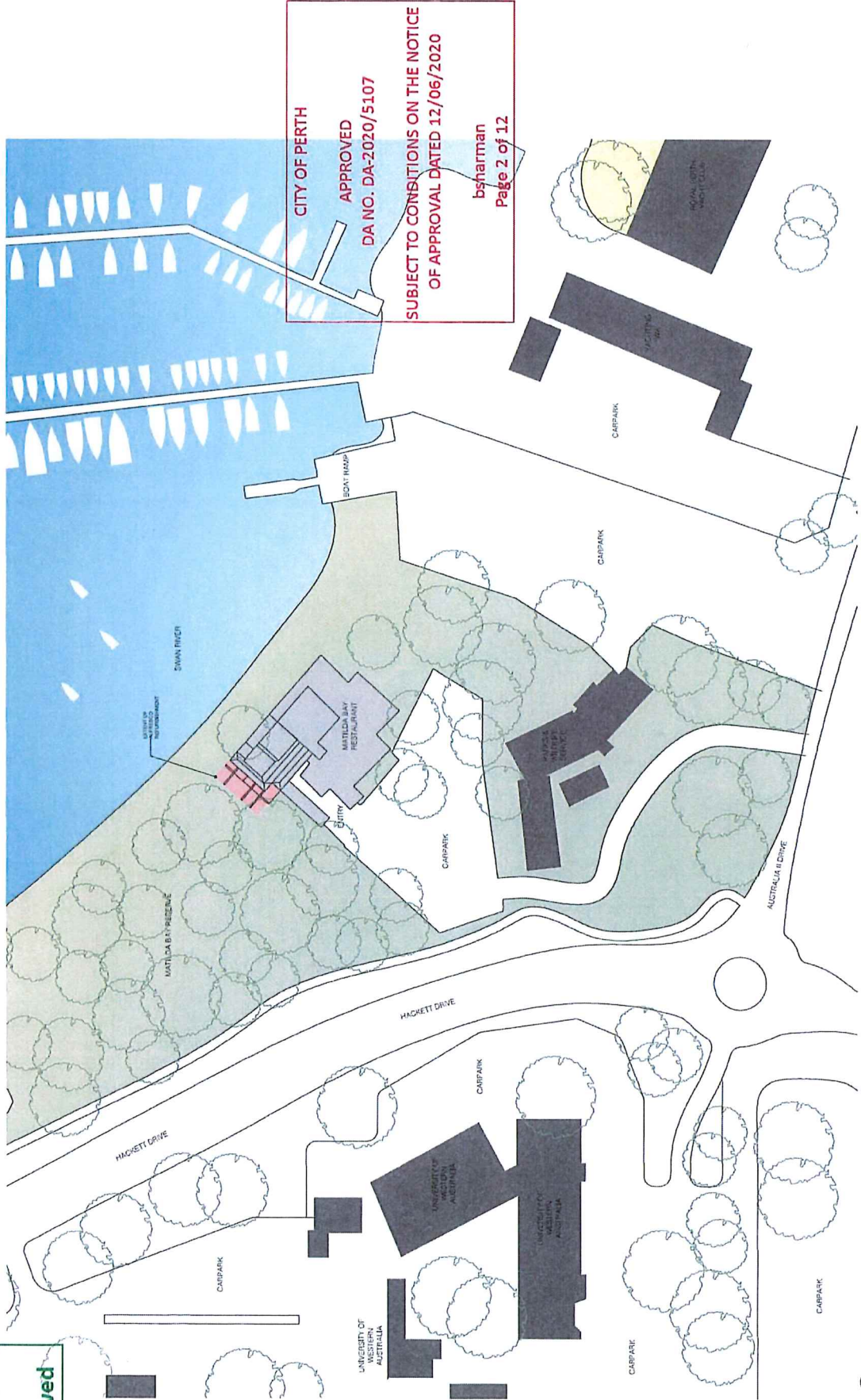


I, ~~GAVIN CAMPBELL~~....., Licensed Surveyor, certify that on the ~~12/06/2020~~, the boundaries of the lots as described below and as shown on this sketch were re-established and that the survey was performed by me personally ~~under my personal supervision~~ in accordance with the provisions of the Licensed Surveyors (Guidance of Surveyors) Regulations 1961 and the Licensed Surveyors (Transfer of Land Act 1893) Regulations 1961.

SCALE: 1:750	CHECK: BSG	ADDRESS:	JOB NO:	
REF No: 9942	ITEM NO: 083	LOT 8168 / Dia 72833		
FILE: S:\svypcl\09942\083\9942-083.dwg		Part LOT 8167 / Dia 71833	CLIENT:	
		3 Hacket Drive	Matilda Bay	
Mt Hawthorn, WA Tel (08) 9443 1511 Fax (08) 9444 3601		CRAWLEY		

Attachment 4

City of Perth
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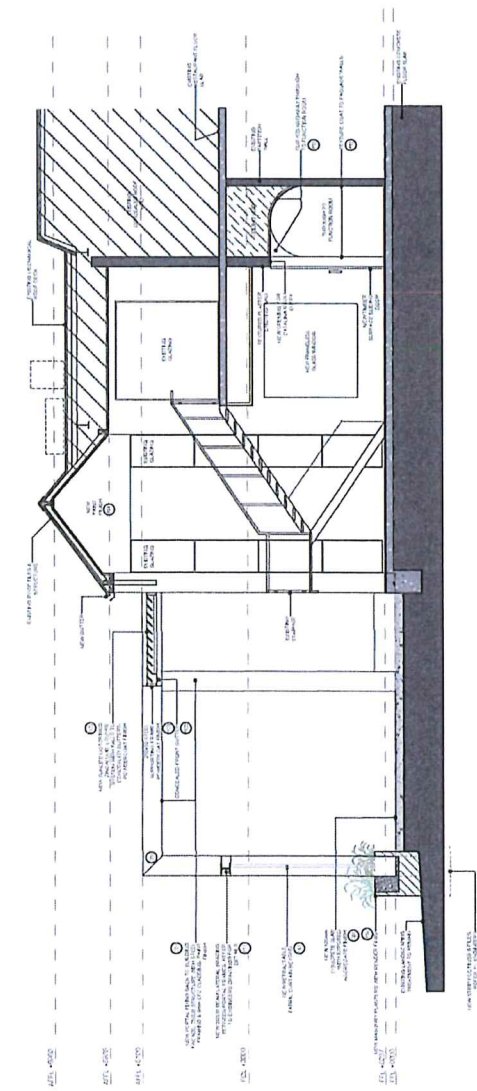
REV: ELZE
 DATE: 12/06/2020
 BY: A. RAY (FOR DA)

CHECKED: _____ DATE: _____
 DATE: _____
 DATE: _____

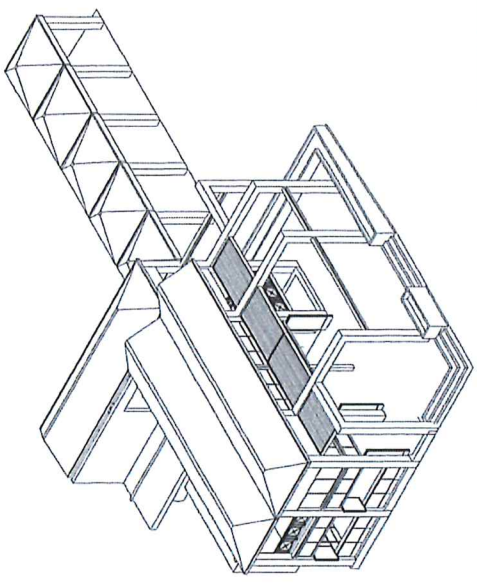
PROJECT: CANBERRA REMAINS 3 HACKETT DRIVE CANVALE
 DRAWING: SITE PLAN
 SCALE: 1:500
 DRAWN: DC
 APPROVED: A

Design Theory

STEPHAN
 12/06/2020

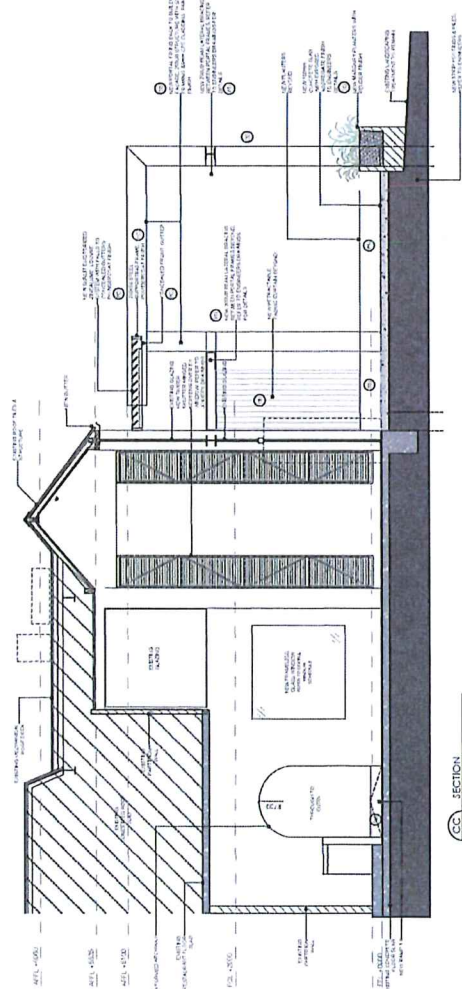


A/B SECTION SCALE 1:20

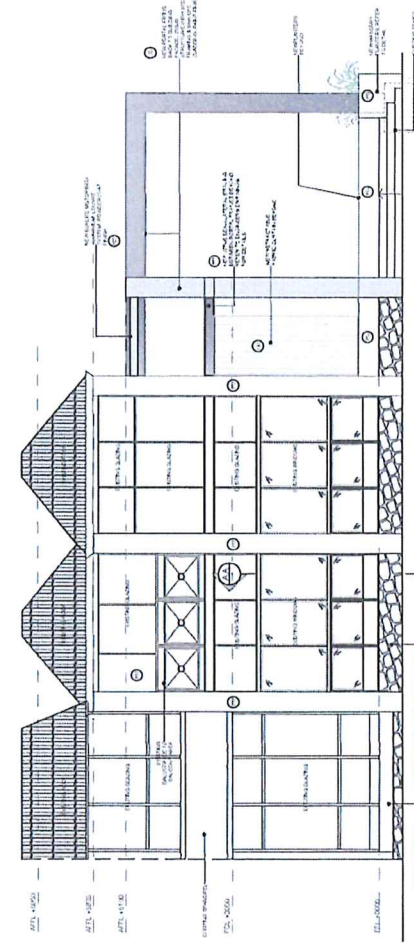


01 ISOMETRIC VIEW SCALE 1:10

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DRAWING
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A/C SECTION SCALE 1:20



A/B ELEVATION SCALE 1:20

REV	DATE	CHECKED	DATE
A	14/05/20		
B	15/06/20		

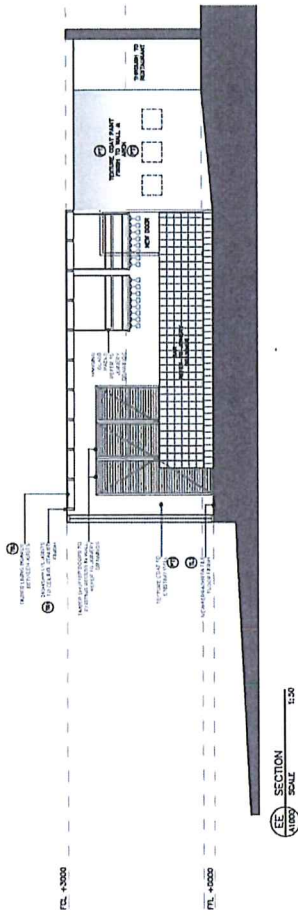
PROJECT
WINDY HILLS
WINDY HILLS RESTAURANT
3 MAGNET DRIVE CHAWLEY

DRAWING
REVISED
2.2.2020

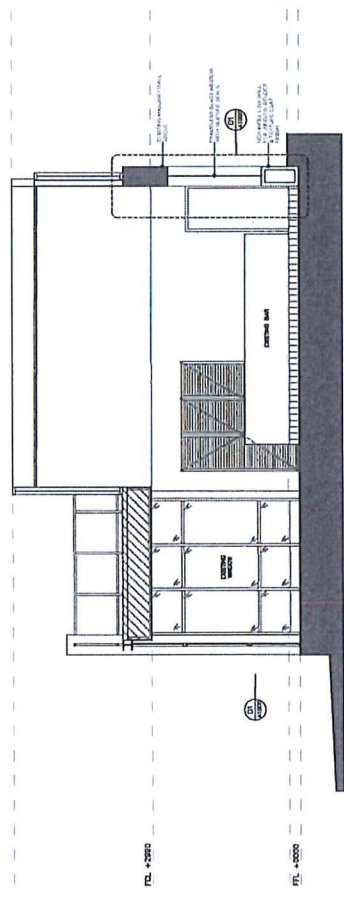
SCALE 1:20
DRAWN DC

DRAWING NO. A9002
SCALE 1:20
DRAWN DC

Design Theory



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DRAWING
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REV	ISSUE	DATE	CHECKED	DATE
A	ISSUE FOR DA	18.03.19		
B	ISSUE FOR BA	08.03.20		

PROJECT
CANTON BAY RESTAURANT
3 HACKETT DRIVE CRAWLEY

DRAWING
ELEVATIONS
ELEVATIONS

SCALE
1:50

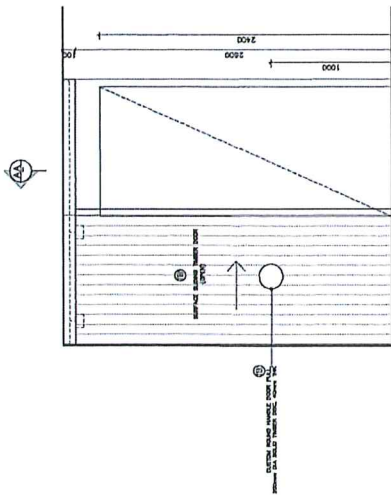
DRAWN
DC

DRAWING NO.
A3002

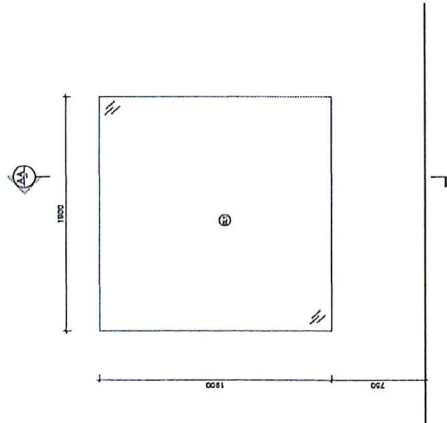
REV
B

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12/06/2020
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D1 - ENTRY DOOR	
LEAF	REFER TO DRAWINGS FOR SIZE. 1200mm RIS FRAME WITH 200x200mm STEEL. STEEL ANGLE TO SURROUND. GALVANNEED STEEL T-RIM AT CENTRAL HINGED.
TRACK	ALUMINUM TRACK WITH ROLLER WHEELS WITH CONCEALED DOOR STOP & ROLLER GUIDE CLEAR ANODIZED FINISH
FURNITURE	CUSTOM ROUND SOLID TUBER PULL HANDLE. THT. REFER TO DETAILS
LOCK	LOCKABLE FROM INSIDE ONLY. LIGNWOOD BURNISH AT TOP & BOTTOM
STOP	CONCEAL ALL WEATHER CONCEALED DOOR STOP & ROLLER GUIDE.



W1 - FRAMLESS GLASS WINDOW	
FRAME	FRAMBLESS. REBATED INTO MASONRY WINDOW REVEAL WITH SLICED SEALS
GLASS	BLACK INTERGLAZANT
OTHER	GL1



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DATE: 04/2020/12/07
PROJECT NO: 2019/0000000000
APPROVAL DATE: 12/07/2020
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PROJECT: CATALINA BAY RESTAURANT, 3 HACKETT DRIVE CHARLEY

DRAWING: ENTRY DOOR & WINDOW SCHEDULE

SCALE: A:50

DRAWING NO: A9101

REV: A

CHECKED: DATE: 04/20/20

DATE: 04/20/20

DESIGN THEORY

Attachment 4



P | 08 6161 9911
 E | hello@designtheory.com.au
 W | www.designtheory.com.au
 A | PO BOX 511, NORTH FREMANTLE 6159

AS06 - FINISHES SCHEDULE

Client	CATALINA ROOM – MATILDA BAY RESTAURANT
Address	3 HACKETT DRIVE, CRAWLEY
Document Number	AS06

Revision	Description	Date
A	FOR DA	08.05.20

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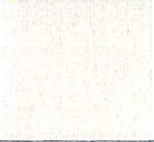


CODES REFERENCE

AP	Acoustic Panel	PC	Powdercoat
CO	Concrete	PT	Paint
CP	Carpet	SS	Solid Surfaces
FB	Fabric	ST	Stone
GF	Glazing Film	TB	Solid Timber
GL	Glass	TL	Tile
LA	Laminate	TV	Timber Veneer
MT	Metal	VL	Vinyl

NOTES

- Schedule is to be read in conjunction with drawings.
- Images shown are indicative of specified model but are for information only and may not necessarily represent final finish or colour Please refer to notation for colour and material specifications.
- All quantities indicated must be cross-checked against relevant drawings and details prior to finalisation of costs, lead times & procurement.
- Contractors to ensure all elements are co-ordinated and buildable at time of tender. Any discrepancies and concerns are to be raised for clarification with Design Theory.

Attachment 4

Item Code	Item Description	Image	Description / Finish	Supplier	Notes
CD1	CFC FAÇADE CLADDING		JAMES HARDIE EXOTEC FAÇADE PANELLING SYSTEM 9mm THK FINISH: PT4		
CO1	CONCRETE		AGGREGATE TO NEW 150MM CONCRETE INFILL SLAB 150mm THICK TO ACHIEVE R10 SLIP RATING AGGREGATE: BORONIA	HOLCIM GEOSTONE	
FB1	OUTDOOR FABRIC		SUNBRELLA SHEER OUTDOOR FABRIC COLOUR: MIST SAND 52001-0002 100% SUNBRELLA ACRYLIC 137CM WIDTH	SUNBRELLA	
MT3	TACTILE INDICATORS INDOOR		BRASS WARNING TACTILE (SPIKED) FIXING: DRILL & PRESSURE FIT SLIP RATING: R12 SUBSTRATE: TILED FLOORING	DTAC	TO BE INSTALLED IN ACCORDANCE WITH AS.1428. ENSURE LUMINANCE CONTRAST ACHIEVED
PC1	POWDERCOAT DOORS & WINDOWS		DULUX BLACK		<p style="text-align: center; color: red;">LUMINANCE CONTRAST ACHIEVED</p> <p style="text-align: center; color: red;">APPROVED</p> <p style="text-align: center; color: red;">DA NO. DA-2020/5107</p> <p style="text-align: center; color: red;">SUBJECT TO CONDITIONS ON THE NOTICE OF APPROVAL DATED 12/06/2020</p> <p style="text-align: center; color: red;">bsharman</p> <p style="text-align: center; color: red;">Page 12 of 12</p>
PC2	POWDERCOAT - ROOF		DULUX COLOURBOND SURFMIST		
PC3	POWDERCOAT - TRIMS		DULUX TERRAIN		
PT1	PAINT - EXTERNAL STEEL WORK		DULUX FERRODOR PAINT COLOUR: WHITE	DULUX	
PT2	TEXTURE COAT - INTERNAL		TEXTURE COAT WITH PAINT FINISH COLOUR: TINTED TO MATCH PORTERS PAINT 'MILK'	TAUBMANS	IN-SITU SAMPLE TO BE APPROVED BY DESIGNER
PT4	PAINT FINISH - CD1 CLADDING		DULUX ACRATEX COLOUR: TBC SUBSTRATE: CD1 EXOTEC	DULUX	
TL1	GLAZED TERRACOTTA TILE		HANDMADE MOROCCAN TERRACOTTA TILE ZELLIGE COLOUR: RUST SIZE: 100X100	M2 TILES	

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12/06/2020

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