



Swan and Canning Rivers Management Act 2006

PART 5

DETERMINATION OF DEVELOPMENT APPLICATION

FILE NUMBER : 2022/1643
APPLICANT : National Trust of Western Australia
LANDOWNER : National Trust of Western Australia
LAND DESCRIPTION : Peninsula Farm Lot 11547 DP 217904 (2C) Johnson Road,
Maylands Reserve R33202
DEVELOPMENT : Converting an existing storeroom into a toilet block; changing
the existing toilet within the historically listed Tranby House
into a storeroom; and minor conservation works to Tranby
House
VALID FORM 1 RECEIVED : 21 June 2022
DETERMINATION : **APPROVAL WITH CONDITIONS**

The application to commence development in accordance with the information received on 21 June 2022 is APPROVED subject to the following conditions:

1. Approval to implement this decision is valid for two (2) years from the date of the approval. If substantial on-site works have not commenced within this period, a new approval will be required before commencing or completing the development.
2. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works (**Advice Note 1**).
3. All works are to be undertaken in accordance with a Construction Environmental Management Plan which shall be submitted to and approved by the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1, 2 and 3**).
4. The applicant shall ensure that no damage to the foreshore, riverbank, or waterway (including vegetation and infrastructure) occurs beyond the scope of the approved works. If any inadvertent damage occurs, the applicant is required to notify the Department of Biodiversity, Conservation and Attractions within 48 hours of the damage occurring and rectify the damage at its expense (**Advice Note 6**).
5. Upon completion of the works, all waste materials, equipment and machinery shall be removed, and the site cleaned up to the satisfaction of the Department of Biodiversity, Conservation and Attractions.
6. The development is to be connected to reticulated sewer to the requirements and satisfaction of the Water Corporation.

ADVICE NOTES

1. Notification of commencement of work and plans can be emailed to rivers.planning@dbca.wa.gov.au.

2. The Construction Environmental Management Plan required under **Condition 3** shall describe how the proposed works will be managed to minimise potential environmental impacts including:
- scope of works, including demolition and construction methodology;
 - site access and management, including fencing requirements;
 - management of machinery and equipment, including a refuelling procedure and spill response;
 - on-site storage and bunding of materials (sediment control), equipment, chemicals and fuel (no storage of material on the grassed foreshore will be permitted);
 - protection of the river (and nearby stormwater drains) from inputs of debris, rubbish or other deleterious material;
 - waste and material disposal;
 - traffic management, including parking arrangements for work contractors;
 - site security;
 - public access and safety;
 - hours of operation and schedule of works;
 - management and response to complaints and incidents;
 - a site map showing the laydown area, vehicle entry/exit points and pedestrian management (e.g. road closures, alternative routes and public safety signage) shall be included. Sand, soil, and any other finely grained material that is exposed or stockpiled on site shall be managed to prevent sediment mobilisation and discharge into the Swan River; and
 - measures to protect all trees within the vicinity of the proposed works in accordance with *Australian Standard AS 4970-2009: Protection of trees on development sites*. Tree protection zones should be identified and fenced to restrict access and to avoid damage to the trees during works. Traffic management controls should be prepared by accredited personnel for various phases of the construction, including any proposed closures.
3. To allow sufficient time for the Department of Biodiversity, Conservation and Attractions to consider and approve the Construction Environmental Management Plan required under **Condition 3**, the documents shall be submitted at least 42 days before the expected works commencement date.
4. The applicant is hereby notified that in addition to the Building Code of Australia (BCA) requirements for providing access for people with a disability, it is the responsibility of the applicant to ensure the development complies with the *Disability Discrimination Act 1992* and the Disability (Access to Premises - Buildings) Standards 2010.
- Further information about universal access can be obtained from the City of Perth's Access and Inclusion Advisory Group <https://perth.wa.gov.au/live-and-work/community-services-and-facilities/equity-diversity-inclusion/access-and-inclusion-advisory-group> and the Western Australian Department of Communities <https://www.wa.gov.au/organisation/departments-of-communities/disability-services>.
5. This approval is not a building permit. It is the responsibility of the applicant/owner to obtain any other necessary approvals, consents and/or licenses required under any other law, and to commence and carry out development in accordance with all relevant laws.
6. Regarding **Condition 4**, in case of damage or pollution events, the Department of Biodiversity, Conservation and Attractions is to be contacted on 9278 0981 (Riverpark Duty Officer).



Hon Reece Whitby MLA
MINISTER FOR ENVIRONMENT

Date: 23/11/2022

DEPARTMENT OF BIODIVERSITY, CONSERVATION AND ATTRACTIONS REPORT

PROPOSAL	New toilets and conservation work at Tranby House
LOCATION	Peninsula Farm Lot 11547 DP 217904 (2C) Johnson Road, Maylands Reserve R33202
COST	\$200,000
APPLICANT	National Trust of Western Australia
LANDOWNER	National Trust of Western Australia
LOCAL GOVERNMENT	City of Bayswater
MRS CLASSIFICATION	Parks and Recreation Reserve
DECISION TYPE	Part 5, <i>Swan and Canning Rivers Management Act 2006</i> , Ministerial Determination
ATTACHMENTS	<ol style="list-style-type: none"> 1. Location map (1 page) 2. External referral responses: <ol style="list-style-type: none"> a. City of Bayswater (2 pages) 3. Public submission (2 pages) 4. Application, plans and heritage impact statement (32 pages)
RECOMMENDATION	APPROVAL WITH CONDITIONS

1. INTRODUCTION

- 1.1 The Department of Biodiversity, Conservation and Attractions (DBCA) has received an application from the National Trust of Western Australia, proposing alterations at Peninsula Farm Lot 11547 (2C) Johnson Road, Maylands (**Attachment 1**). The proposal includes converting an existing storeroom into a toilet block; changing the existing toilet within the historically listed Tranby House into a storeroom; and minor conservation works to Tranby House. There will also be some upgrades to the external pedestrian paths around Tranby House.
- 1.2 The subject land is located within the Parks and Recreation Reserve (R33202) under the Metropolitan Region Scheme.
- 1.3 The proposed development is to occur on land entirely within the Swan Canning Development Control Area and therefore requires an approval from the Minister for Environment in accordance with Part 5 of the *Swan and Canning Rivers Management Act 2006* (SCRM Act).
- 1.4 The Director General of DBCA has prepared this report in accordance with section 75 of the SCRM Act.

2. CONSULTATION

- 2.1 The City of Bayswater (the City) advises that it supports the proposal subject to conditions and advice notes (**Attachment 2**).
- 2.2 The City's submission mostly relates to the management of construction, including the protection of trees.
- 2.3 The Department of Planning, Lands and Heritage was referred the application but did not make a submission in the 42-day advertising period.
- 2.4 Given the past concerns raised by residents in the local area, notice of the application was provided to 29 residential units at No. 2 and No. 4 Johnson Road, Maylands.
- 2.5 One public submission was received. The submission requested that a screen wall be constructed on the north side of the toilet block to restrict views into the toilets (**Attachment 3**).
- 2.6 The proposed toilet has self-closing doors on the male, female and accessible toilets.
- 2.7 The public submission was referred to the City. The City agrees that in this instance a screen wall is not required.

3. PUBLIC CONSULTATION – SUBMISSIONS ON DRAFT REPORT

- 3.1 In accordance with the requirements of Part 5 of the SCRM Act, a copy of the draft report and proposed recommendation was provided to the applicant and the relevant stakeholders being the City of Bayswater, the Department of Planning, Lands and Heritage and one local resident who previously provided a submission. A copy was also published on the DBCA website between 10 October 2022 and 28 October 2022 with an invitation for public submissions.
- 3.2 No submissions were received.

4. RELEVANT POLICIES AND PLANS

- State Planning Policy 2.10 – Swan-Canning River System (SPP 2.10)
- Corporate Policy Statement No. 42 – Planning for Land Use, Development and Permitting Affecting the Swan Canning Development Control Area (Policy 42)
- Corporate Policy Statement No. 48 – Planning for Development Setback Requirements Affecting the Swan Canning Development Control Area (Policy 48)
- Corporate Policy Statement No. 51 – Planning for Wastewater Management Affecting the Swan Canning Development Control Area (Policy 51)

5. ENVIRONMENTAL AND PLANNING CONSIDERATIONS

- Environmental protection
- Amenity and public access
- Ecological health and landscape protection

6. BACKGROUND

- 6.1 Peninsula Farm is located on the banks of the Swan River on the Maylands Peninsula, an area known as Wu Rut Woorat to Noongar people. The site has been managed by the National Trust of Western Australia since 1978. The site includes the historic Tranby House (built in 1839), a storeroom (built in 1980) and a tearoom/café (built in 1984). Peninsula Farm grounds are open to the public seven days a week. Tranby House is open as a museum Friday to Sunday for guided tours. The café is currently closed for internal renovation by a new lessee.
- 6.2 The c1980 storeroom that is proposed to be used for toilets is a small rectangular brick building approximately six metres southeast of Tranby House. It is currently used for miscellaneous site storage. The National Trust considers the storeroom to be of little heritage significance.
- 6.3 The proposal for new toilets will improve public amenity at Peninsula Farm by providing building code compliant toilets including a universal access toilet (**Attachment 4**). The National Trust hosts two annual community events, being Anzac Day and Carols by Candlelight. Both events have been approved by DBCA in accordance with the Swan and Canning Rivers Management Regulations 2007. The proposed toilet will be connected to reticulated sewer and will eliminate the need to bring in portable toilets for those events.
- 6.4 The toilets will be available for use by the general public but will only be open during the opening hours of Tranby House and during events that are supported by the National Trust. Currently Tranby House is open to the public for tours on Saturdays and Sundays and some weekdays for school groups by appointment. The National Trust will be responsible for opening, closing and cleaning the toilets.
- 6.5 To facilitate the new toilets, external doors to the storeroom will be altered with new building code compliant single doors and internal walls added to the brick structure. Double barn doors on the west of the building will be painted and reinstated over new infill stud walls. New plumbing services will be installed which will require ground disturbance works.
- 6.6 If there are any chance archaeological finds during the works, the development will be attended to by an historic archaeologist managed by the National Trust.
- 6.7 Internal modifications to remove two c1976 toilets at the western end of the main Tranby House are proposed. This room will become a cleaner's store and an education storeroom. No external door or window alterations are proposed to the building fabric of Tranby House.
- 6.8 The National Trust proposes to undertake conservation works to Tranby House using its Heritage Council of Western Australia delegation. These works will not change the external appearance or the building fabric of Tranby House.
- 6.9 Conservation works to Tranby House are mostly like for like repairs and maintenance including:
- roofing, timbers and fascia, rendered/bagged painted walls and existing painted joinery. These works will not change the external appearance of the building fabric;
 - removal of white infill balustrade to the south elevation laundry and verandah; and
 - installation of a landscaped step ramp to the existing verandah.

- 6.10 A dwarf masonry retaining wall (under 0.5m height) will edge the new path and landscape works. Brick paving will be replaced with an exposed aggregate concrete path, which will be colour matched to blend with the brown pea-gravel paths elsewhere.

7. DISCUSSION

Environmental protection

- 7.1 Policy 42 aims to ensure that land use and development on and adjacent to the river system maintains and enhances the quality and amenity of the river environment. The proposed development should be carefully undertaken to prevent detrimental impacts to the foreshore area.
- 7.2 The proposal is mostly internal works to existing built structures. There will be some minor excavation to connect new toilets to existing infrastructure. Any potential environmental impact will only be during the construction phase of the project and can be managed by standard conditions relating to sediment control and waste management.

Amenity and public access

- 7.3 Policy 42 states that the design, materials and colour scheme of developments adjacent to the river and foreshores should complement and protect the character and landscape setting of the river.
- 7.4 Policy 45 and SPP 2.10 – Swan-Canning River System require the proposed development to enhance the public's access to and enjoyment of the river.
- 7.5 The proposed works will not prevent public access to the Peninsula Farm reserve during the works, however there will likely be some protective fencing during the works period. Any impact will be minor in nature and temporary only during the works period.
- 7.6 The finishes of the buildings will not significantly change the appearance of development, and therefore the visual amenity of the reserve will not change.
- 7.7 The new toilets will improve the use of the reserve.

Ecological health and landscape protection

- 7.8 Policy 42 states that natural vegetation should be promoted, maintained and restored, and existing native vegetation should be retained as a means of protecting linkages and natural vegetation corridors. Proposals should avoid the removal or fragmentation of native vegetation, where possible.
- 7.9 The proposed works are predominantly internal and well away from the river bank. No native vegetation will be affected by the proposed works.
- 7.10 There are a number of mature trees including oak trees within 10 metres of the storeroom and Tranby House. No significant ground disturbance is required, therefore the works are unlikely to adversely impact these trees. It is recommended that a condition be included that requires tree protection during the construction period.

7.11 The recommended conditions from the City of Bayswater mostly relate to the protection of trees. It is considered that the proposed condition for a Construction Environmental Management Plan will require the applicant to detail how trees will be protected during the works period.

7.12 Policy 42 states that proposals should enhance and protect the character and landscape setting of the Swan Canning River system. Typically, proposals should protect tree lines and not dominate or overshadow public areas and views. Consideration should also be made, where appropriate, to enhance significant landmarks, views and vistas.

7.13 The proposed works includes some minor alteration to the external walls of the existing storeroom and some minor conservation works to Tranby House. The works will not notably change the character of the site. Nor will the works alter views to or from the site to the river environment.

8. SWAN RIVER TRUST

8.1 In accordance with section 75(3A) of the SCRM Act, the Swan River Trust (the Trust) considered DBCA's draft report at its meeting of 20 September 2022. The Trust resolved to advise the Director General of DBCA that it supports the report and recommendation as outlined in the draft report.

9. CONCLUSION

9.1 The proposal seeks to construct new toilets in an existing storeroom and undertake conservation work at Tranby House. It is anticipated that the proposal will not have any adverse impact on the foreshore area, the river environment or the Parks and Recreation reserve. The proposal is therefore considered acceptable.

9.2 For these reasons, the proposal is recommended for approval, subject to conditions and advice.

10. RECOMMENDATION – APPROVAL WITH CONDITIONS

That the Director General of the Department of Biodiversity, Conservation and Attractions advises the Minister for Environment that the proposal at Peninsula Farm Lot 11547 DP 217904 (2C) Johnson Road, Maylands Reserve R33202 (**Attachment 1**), as described in the application received on 21 June 2022, be approved, subject to the following:

CONDITIONS

1. Approval to implement this decision is valid for two (2) years from the date of the approval. If substantial on-site works have not commenced within this period, a new approval will be required before commencing or completing the development.
2. The applicant shall notify the Department of Biodiversity, Conservation and Attractions in writing not less than seven (7) days prior to the commencement of works (**Advice Note 1**).
3. All works are to be undertaken in accordance with a Construction Environmental Management Plan which shall be submitted to and approved by the Department of Biodiversity, Conservation and Attractions (**Advice Notes 1, 2 and 3**).
4. The applicant shall ensure that no damage to the foreshore, riverbank, or waterway (including vegetation and infrastructure) occurs beyond the scope of the approved works. If any inadvertent damage occurs, the applicant is required to notify the

Department of Biodiversity, Conservation and Attractions within 48 hours of the damage occurring and rectify the damage at its expense (**Advice Note 6**).

5. Upon completion of the works, all waste materials, equipment and machinery shall be removed, and the site cleaned up to the satisfaction of the Department of Biodiversity, Conservation and Attractions.
6. The development is to be connected to reticulated sewer to the requirements and satisfaction of the Water Corporation.

ADVICE TO APPLICANT

1. Notification of commencement of work and plans can be emailed to rivers.planning@dbca.wa.gov.au.
2. The Construction Environmental Management Plan required under **Condition 3** shall describe how the proposed works will be managed to minimise potential environmental impacts including:
 - a. scope of works, including demolition and construction methodology;
 - b. site access and management, including fencing requirements;
 - c. management of machinery and equipment, including a refuelling procedure and spill response;
 - d. on-site storage and bunding of materials (sediment control), equipment, chemicals and fuel (no storage of material on the grassed foreshore will be permitted);
 - e. protection of the river (and nearby stormwater drains) from inputs of debris, rubbish or other deleterious material;
 - f. waste and material disposal;
 - g. traffic management, including parking arrangements for work contractors;
 - h. site security;
 - i. public access and safety;
 - j. hours of operation and schedule of works;
 - k. management and response to complaints and incidents;
 - l. a site map showing the laydown area, vehicle entry/exit points and pedestrian management (e.g. road closures, alternative routes and public safety signage) shall be included. Sand, soil, and any other finely grained material that is exposed or stockpiled on site shall be managed to prevent sediment mobilisation and discharge into the Swan River; and
 - m. measures to protect all trees within the vicinity of the proposed works in accordance with *Australian Standard AS 4970-2009: Protection of trees on development sites*. Tree protection zones should be identified and fenced to restrict access and to avoid damage to the trees during works. Traffic management controls should be prepared by accredited personnel for various phases of the construction, including any proposed closures.
3. To allow sufficient time for the Department of Biodiversity, Conservation and Attractions to consider and approve the Construction Environmental Management Plan required under **Condition 3**, the documents shall be submitted at least 42 days before the expected works commencement date.
4. The applicant is hereby notified that in addition to the Building Code of Australia (BCA) requirements for providing access for people with a disability, it is the responsibility of the applicant to ensure the development complies with the *Disability Discrimination Act 1992* and the Disability (Access to Premises - Buildings) Standards 2010.

Further information about universal access can be obtained from the City of Perth's Access and Inclusion Advisory Group <https://perth.wa.gov.au/live-and-work/community-services-and-facilities/equity-diversity-inclusion/access-and->

[inclusion-advisory-group](https://www.wa.gov.au/organisation/departments-of-communities/disability-services) and the Western Australian Department of Communities <https://www.wa.gov.au/organisation/departments-of-communities/disability-services>.

5. This approval is not a building permit. It is the responsibility of the applicant/owner to obtain any other necessary approvals, consents and/or licenses required under any other law, and to commence and carry out development in accordance with all relevant laws.
6. Regarding **Condition 4**, in case of damage or pollution events, the Department of Biodiversity, Conservation and Attractions is to be contacted on 9278 0981 (Riverpark Duty Officer).

FINAL REPORT ENDORSED

Signed: *Mark Webb*

Date: 15/11/22

Mark Webb
Director General




Meeting No. 08/2022

Tuesday 20 September 2022

EXTRACT

ITEM 6.1

	Extract of Minutes Swan River Trust
Meeting No:	<u>08/2022</u>
Date:	<u>24/10/2022</u>
Time:	<u>12:55 pm</u>
Signed:	<u>C. Hember</u>

6.1 Part 5 Development Application – project proposal - new toilets and conservation work at Tranby House, Maylands

Mr Greg Comiskey, Manager, Statutory Assessments Unit and Ms Mandy Sherring, Planning Officer, presented the proposal for new toilets and conservation work at Tranby House, Maylands. Given that the proposed development is to be connected to reticulated sewer, the Trust advised it was supportive of the proposal.

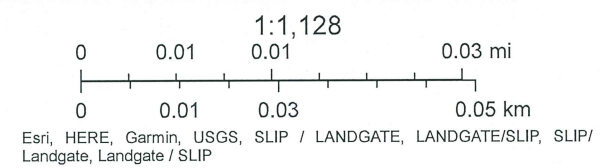
RESOLUTION 40/2022

The Trust **RESOLVED** to advise the Director General of DBCA that it supports the report and recommendation as outlined in DBCA's draft report.



06/09/2022, 13:40:01

- LGA
- Minor Roads
- Main Roads
- Others
- Minor, Sealed
- Main, Sealed
- Laneway, Sealed
- Track, Unsealed
- Other
- Minor, Unsealed
- Main, Unsealed
- Laneway, Unsealed



Contact: Courtney Wynn (9272 0914)

Reference: DA22-0283



1 September 2022

Mandy Sherring
Planning Officer
Department of Biodiversity, Conservation and Attractions
rivers.planning@dbca.wa.gov.au

61 Broun Avenue, Morley WA 6062
PO Box 467, Morley WA 6943

P: (08) 9272 0622

F: (08) 9272 0665

mail@bayswater.wa.gov.au

National Relay Service:
1800 555 660

www.bayswater.wa.gov.au

Dear Ms Sherring,

**PROPOSED ALTERATIONS, ADDITIONS AND CONSERVATION WORKS TO PENINSULA FARM (TOILETS AND STORE ROOM)
LOT 11547, PENINSULA FARM 2C JOHNSON ROAD, MAYLANDS**

I refer to the above mentioned development application referred to the City by the Department of Biodiversity, Conservation and Attractions (DBCA) on 27 June 2022.

Please find attached a copy of the application form and associated documentation. The City has reviewed the application and attached a recommendation for consideration by the DBCA.

Should you have any queries in relation to the above matter, please do not hesitate to contact Courtney Wynn in the City's Development Approvals via courtney.wynn@bayswater.wa.gov.au

Yours faithfully

HELEN SMITH
MANAGER DEVELOPMENT AND PLACE

Att: *Development Application*
: *City of Bayswater Recommendation*

CITY OF BAYSWATER RECOMMENDATION

The City has reviewed the development application (ref: DA22-0283) which it supports, subject to the following condition(s) and advice on approval:

CONDITION(S):

- 1 The alterations, additions and conservation works shall be in complementary materials, colours and design and in accordance with the Conservation Plan.
- 2 Any lighting used is to be baffled and directed away from residential dwellings to the satisfaction of the City of Bayswater.
- 3 All tree(s) are to be retained and shall have measures consistent with AS 4970-2009 undertaken to ensure its/their protection during construction of the subject development to the satisfaction of the City, including but not limited to the following:
 - (a) A minimum 2.0m radius tree protection zone (TPZ) shall be provided through 1.8m high fencing around the verge trees (chain mesh panels or other suitable material) during construction of the subject development.
 - (b) The above fencing is not to be moved or removed at any period during construction, and this zone is not to be entered for any reason; signage notifying people of the TPZ and the associated requirements is to be placed on each side of the fencing.
 - (c) All activities and works related to construction of the subject development, including parking of vehicles, storage of materials, and washing of concreting tools and equipment is prohibited within the designated TPZ unless prior approval is sought from the City of Bayswater.
 - (d) Any roots identified to be pruned shall be pruned with a final cut to undamaged wood outside of the TPZ. Pruning cuts shall be made with sharp tools such as secateurs, pruners, handsaws or chainsaws. Pruning wounds shall not be treated with dressings or paints. It is not acceptable for roots to be 'pruned' with machinery such as backhoes or excavators.
 - (e) The tree(s) shall be provided with supplemental water during any construction period falling over summer, with a minimum of 150 litres being provided per week.
 - (f) Any new paving or impervious surfaces shall maintain a minimum clearance of 2.0m from the base of a tree(s).
- 4 All stormwater and drainage runoff produced onsite is to be disposed of onsite to the satisfaction of the City of Bayswater.
- 5 On completion of construction, all excess articles, equipment, rubbish and materials being removed from the site and the site left in an orderly and tidy condition, to the satisfaction of the City of Bayswater.

ADVICE:

- 1 This approval is not a building permit or an approval under any other law than the Planning and Development Act 2005. It is the responsibility of the applicant/owner to obtain any other necessary approvals, consents and/or licenses required under any other law, and to commence and carry out development in accordance with all relevant laws.
- 2 The applicant is to make arrangements to the satisfaction of the Water Corporation for the provision of reticulated sewerage to the toilets.

Yours faithfully



HELEN SMITH
MANAGER DEVELOPMENT AND PLACE

Mandy Sherring

From: Roland Garside [REDACTED]
Sent: Wednesday, 17 August 2022 4:43 PM
To: Rivers Planning
Subject: New Toilet Block - Tranby House, Peninsula Farm Reserve
Attachments: CCF_000087.pdf

[External Email] This email was sent from outside the department – be cautious, particularly with links and attachments.

Attn. Mandy Sherring

Thank you for your recent letter asking for comments concerning the above. We appreciate that DBCA have contacted us in this regard.

We are concerned that the toilet doors will be open to view from the public footpath and the houses adjacent to the footpath.

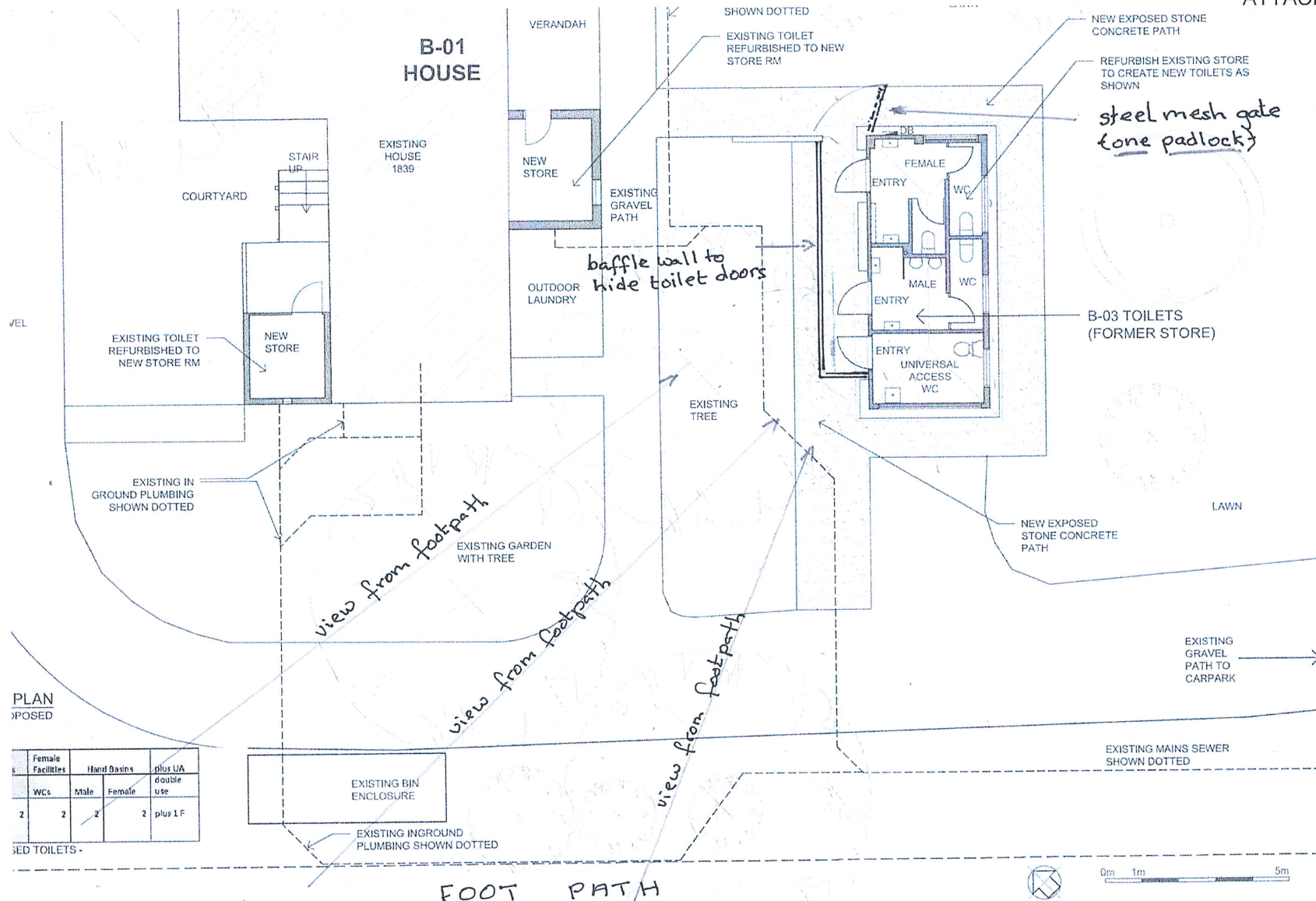
Attached please find an amended plan with our suggestion of a baffle wall to hide the doors from view. This would also allow for one steel mesh gate which could be locked to secure the toilets when they are not in use. It would then not be necessary to unlock and lock each toilet after events or after the homestead is open. We are concerned that if the toilets are not locked after Trust events and opening times at the farm they could be used by the public, especially if the doors are visible from the footpath.

As they would be very close to residences, it would be interesting to know that the Trust itself would be responsible for the security and cleaning of these toilets and it would not be left in the hands of volunteers.

Kind regards

Garry and Verity Garside
[REDACTED]
[REDACTED]

Sent from [Mail](#) for Windows



PLAN
PROPOSED

Female Facilities	Hard Basins		plus UA
WCs	Male	Female	double use
2	2	2	plus 1 F

PROPOSED TOILETS -

Department of Western Australia
 Phone: (08) 9321 6088
 Perth Fax: (08) 9324 1571
 Email: trust@ntwa.com.au
 Web: www.nationaltrust.org.au

HERITAGE PLACE
 This property is an important heritage place as indicated on the WA State Register of Heritage Places. It is a historic site and is of great significance. All works to be done to this place must be done in accordance with the provisions of the Heritage Act 1975 and the Heritage Regulations 1986. Any works to be done to this place must be done in accordance with the provisions of the Heritage Act 1975 and the Heritage Regulations 1986. Any works to be done to this place must be done in accordance with the provisions of the Heritage Act 1975 and the Heritage Regulations 1986.

PROJECT TITLE
 PENINSULA FARM TOILETS

PROPERTY ADDRESS
 2C JOHNSON ROAD, MAYLANDS WA 605

PROPERTY TITLE
 PENINSULA FARM

PROJECT No PM20-005 **NTWA PLACE ID** PENF

FILE LOCATION S:\NTWA\Due Management\Facilities\FirePhysics\022 PEM Toilets

REVISION	DATE	COMMENT
A	19/04/2022	DX SUBMISSION

DRAWING TITLE
 DETAIL SITE PLAN

SCALE @A1 1:100 @A3

DATE APRIL 2022 **DRAWN BY** CS

DRAWING A02.00 **REV** A

UNITS

UNITS



HERITAGE IMPACT STATEMENT

New toilets and conservation works

Peninsula Farm, Maylands



Peninsula Farm Toilets and Conservation Works 2022

Prepared by the National Trust of Western Australia

April 2022

The Old Observatory, 4 Havelock St, West Perth

PO Box 1162, West Perth, WA 6872

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Authors:

This Heritage Impact Statement was prepared by Caroline Stokes of the National Trust of Western Australia.

Document control:

VERSION	ISSUED
Draft	17.02.2022
Final	19.04.2022

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1.0 Introduction

The National Trust works to raise awareness, knowledge, understanding and commitment to Western Australia's natural and cultural heritage. Peninsula Farm is vested with the National Trust, and is reserved for Heritage purposes. National Trust volunteers open the Main House for visitors and school children throughout the year. The leased Café (1987) offers visitors a place to rest with food and beverages, in the picturesque riverside garden setting.

As Peninsula Farm is located along the Swan River embankment, DBCA -Swan River Trust- have delegated determination powers for development approval.

A recent Development Application by the National Trust sought approval for regular annual events, including Anzac Day and Carols by Candlelight in December. This development application, new toilet fitout and selected conservation works, supports the earlier.

Recognising that conservation plans exist and that master planning is yet to be completed, it is agreed that in principle Peninsula Farm will be presented as a colonial house.

This means any accretions added in later years, possibly with the exception of the 1920s additions, will be either removed or rendered in a way so as to clearly indicate they are not part of the original structure. This will involve removal of the female and male toilets and laundry as well as the balustrade.

A future cultural landscape management plan and visitor engagement strategy will be written in tandem with the interpretation plan. Lotterywest funding is secured for the cultural landscape management plan.

While the long term plan is to see a 'visitor hub' like café near the boat building site, the current café will be considered in the interim in order to optimise its offer and align with the heritage values of the site. The Café is not part of this development application scope.

2.0 Background

Peninsula Farm, is located on the banks of the Swan River on the Maylands Peninsula, an area known as Wu Rut Woorat to Noongar people. The site has been managed by the National Trust of Western Australia since 1978. It sits on a portion of the original Swan Location 9377, within the boundaries of the City of Bayswater. The site includes an historic house (1839, 1974), a Store Room/Shed (1980) and a tearoom/café (1984) in landscaped grounds.

As the site of one of the first farms in the colony and the earliest residence still standing in the metropolitan area, Peninsula Farm offers a unique opportunity to explore the first years of European settlement in Western Australia.

Peninsula Farm grounds are open to the public seven days a week. The house is open as a museum Friday to Sunday for guided tours. The new café, is proposed to be open seven days a week.

3.0 Location

The property known as Peninsula Farm is located at 2c Johnson Rd, Maylands. It comprises Lot 11547 on Deposited Plan 217904, Regional Reserve 35112 under management order in favour of the National Trust of Western Australia.

It is 5,720 m² in area, with access through Peninsula Farm Reserve R33202 to the south east. This Reserve is vested in, and managed by, the City of Bayswater.

The approved land use for the Peninsula Farm site is for a restaurant, according to City of Bayswater planning records. Furthermore, the lot is zoned 'Parks and Recreation' and is located within the Swan and Canning River - Development Control Area (DCA-028).

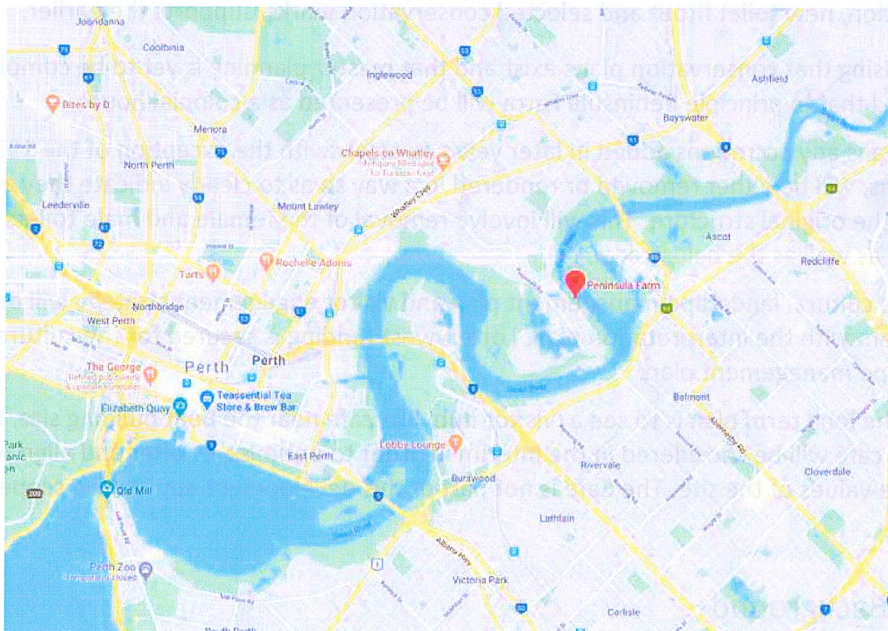
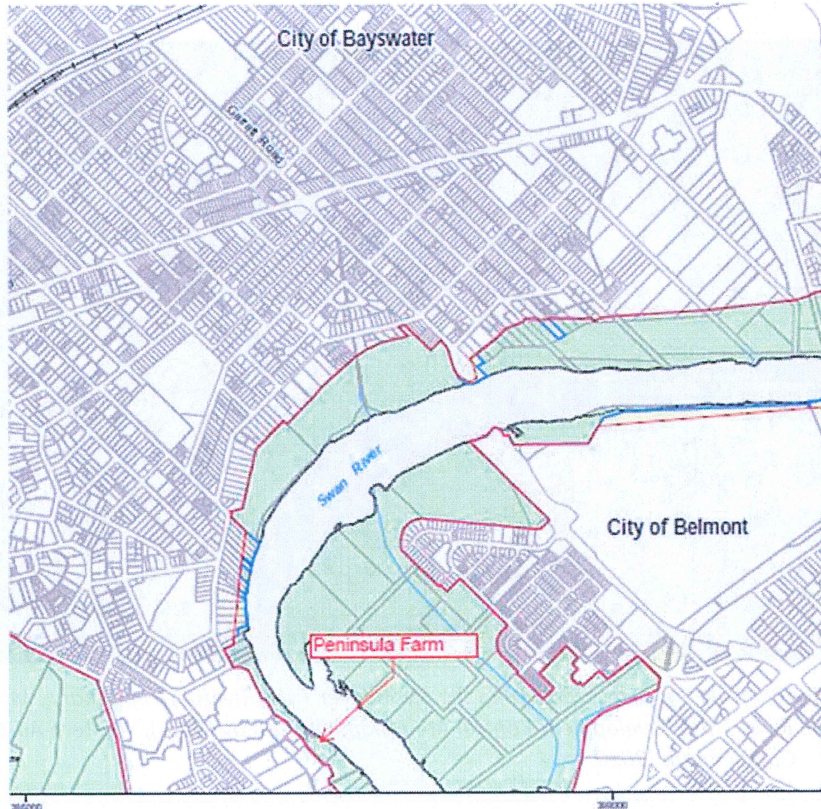


Figure 1 -Peninsula Farm, 7km north east of Perth, located on the Swan River, Maylands, Western Australia. Source: Google maps, 2020



Development Control Area and Riverpark Map 13

*Figure 2 -Peninsula Farm, located within the Swan River Trust Riverpark
Development Control Area, Western Australia.*

Source:DOI: [Development Control Area - Parks and Wildlife Service \(dpaw.wa.gov.au\)](https://dpaw.wa.gov.au), 2022



Figure 3: Peninsula Farm, located within the Swan River Trust Riverpark Boundary, Maylands in the Swan River Trust Development Control Area (administered by DBCA), Western Australia. Source: Google maps, 2020.

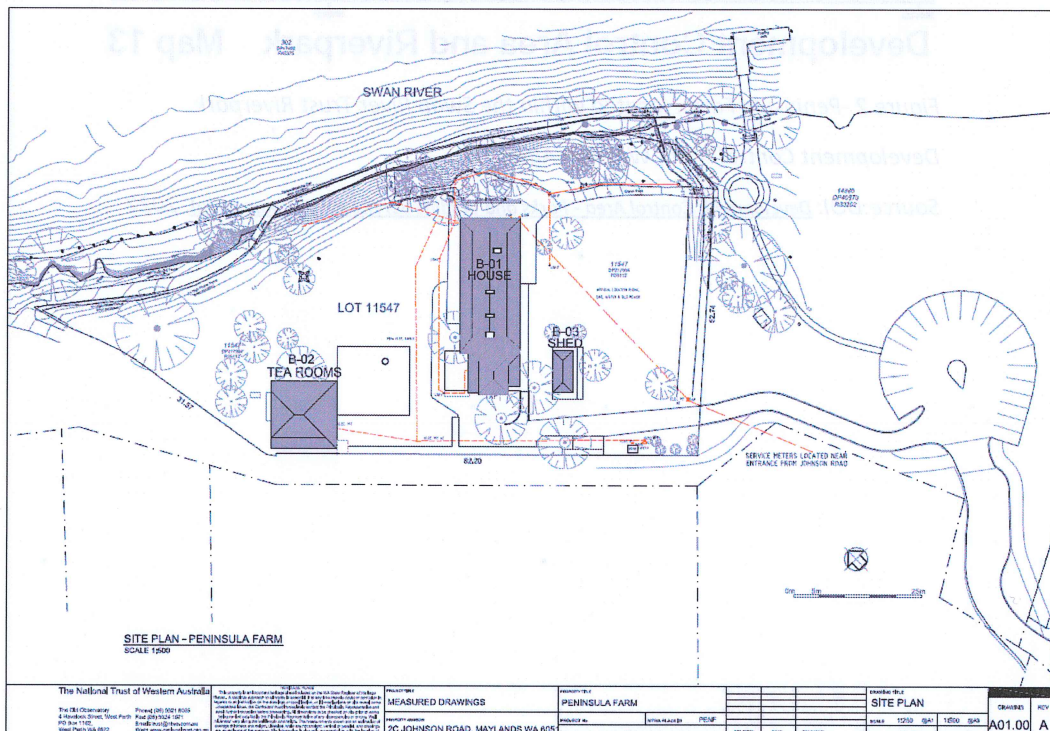


Figure 4- Peninsula Farm site plan, NTWA

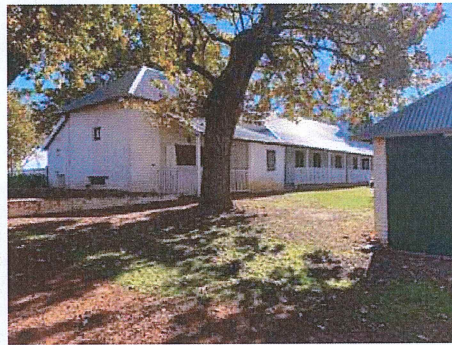
4.0 Brief description

The c1980 store room is a small rectangular brick building separated into 3 rooms. It is currently used for miscellaneous site storage. It is lightly cement bagged and painted white with a corrugated galvanised iron roof and sits on a concrete floor slab, the perimeter is retained on the south. It is located to the south of the historic house.

The site contains significant plantings including 3 mature oak trees. Two of these trees are located close to the historic house and one is located in front of the café building, providing shade to the paved area used as an existing dining area.



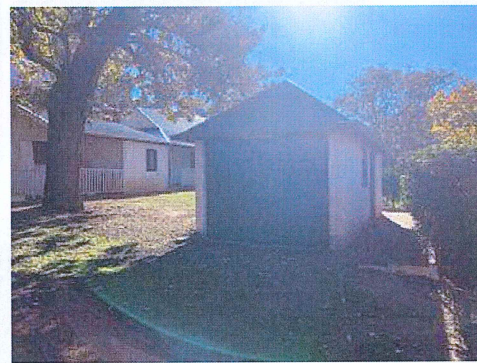
L: Main House, north



R: Main House with WC west, Store, looking north



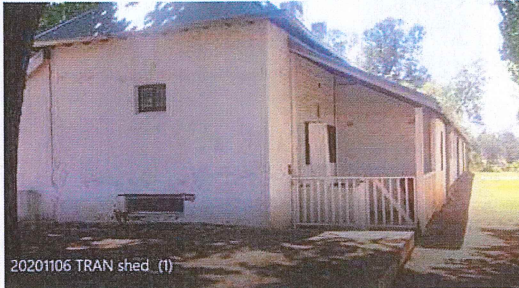
L: Main House looking south east



R: Setting of Store Room



L: Looking south along the site towards carpark entry, R: looking east, west elevation Main House





L: South elevation, Store Room, R: balustrade to be removed, south elevation Main House



L: South elevation Store Room R: East Elevation Store Room



L: Interior Store Room R: Male WC fixtures to be removed, western Room, Main House



Laundry copper, trough and balustrade to be removed, Main House.

5.0 Heritage Values

5.1 Heritage listings

Peninsula Farm has been included on the following registers:

Classified by the National Trust	Classified 16 Dec 1976
Register of the National Estate	Permanent 21 March 1978
City of Bayswater Municipal Inventory	Adopted 17 Jun 1977
State Register of Heritage Places #02411	Registered 20 Oct 1995
Aboriginal Heritage Sites Register	None recorded

1984 wardens' cottage (café) and store are deemed to be of little significance within the Peninsula Farm site.

5.2 Statement of Significance

Peninsula Farm, a two storey homestead and outbuilding in the Old Colonial Georgian style, constructed over a number of stages from circa 1838, has cultural heritage significance for the following reasons:

- the place is believed to be the oldest extant residence, and the only example of a homestead and outbuilding in the Old Colonial Georgian style and dating from the first decade of the Swan River colony, extant in metropolitan Perth;
- the place was the home of Joseph Hardey and his family who arrived on the ship the *Tranby* in 1830 and were the first Methodists to come to Western Australia. The Hardey family introduced Methodism into Western Australia, influenced the religious and political life of the colony, and contributed significantly to the cost of construction of Wesley Methodist Church in Perth in the 1860s;
- the place was associated with the development of various industries on the peninsula, including vineyards introduced by Richard Watson Harvey, brickworks, grazing and, in the twentieth century, horse racing;
- the place has been vested in the National Trust since 1977 and as such is significant to the people of Western Australian both as an historic property, and as an important interpretive and teaching site, providing an insight into the state's early colonial history; and
- the place is a significant landmark on the Swan River foreshore. It has aesthetic value for the simple Georgian form, detail and proportions of the buildings, which together with mature oak trees around the perimeter of the building, form a visually attractive composition.¹

The National Trust considers that further research is required on the pre colonisation period and Aboriginal significance of the site and that the cultural landscape values of the place should be incorporated into the above statement of significance. This work is subject to a request for funding.

6.0 Proposed development details

6.1 Overview

This development application supports public events at Peninsula Farm by providing more, and National Construction Code (NCC) compliant toilet facilities including a Universal Access toilet for shared public use and for National Trust visitors and staff. The majority of the alterations are located in an existing c1980 painted brick store room, which is considered to be of little heritage significance. Internal modifications to remove two c1976 toilets at the western end of the Main House are proposed. They will become a cleaners store and an education storeroom. No external door or window alterations are proposed to the building fabric of the Main House. The National Trust proposes to undertake conservation works to the Main House using its Heritage Council of Western Australian (HCWA) delegation.

¹ (Extract from 2005 Conservation Plan prepared by Heritage and Conservation Professionals, pg ii).



The scope of the conservation works shall be like for like repairs and maintenance including repairs to roofing timbers and fascias, selective removal of detrimental cement render and replacing in lime render, re-painting the walls in limewash and repairing and painting existing painted joinery. These works however will not change the external appearance of building fabric. Should a colour change be proposed NTWA would forward on details of paint selection for the approving Authority. If major structural work is scoped this will be proposed in an additional development application.

These works complement the heritage tourism Peninsula Farm offering which in turn increases awareness of the exceptional heritage significance of this important National Trust. Caring for Peninsula Farm is of high strategic priority to ensure its long term future.

It is noted National Trust will follow chance finds procedure for archaeology requirements, for any excavation works on site.

Refer to Development Application drawings describing the full scope proposed in this Development Application. In summary:

- Store- The existing store room is proposed to be converted into toilets for the site. Below are two regulatory guidelines for toilet facilities:
- Building Code of Australia:

Depending on classification of use, the BCA stipulates how many toilets are required for numbers of occupants. The below calculation is based on a whole-of-site calculation of 200 people and class 6 restaurant use or 9B public building.

200 occupancy	Closet Pans	Urinals	Wash Basins
Male	1	2	2
Female	3		2
UA	1		1
TOTAL	5	2	5

The development proposal meets above Table requirements, minus one closet pan, which is considered an acceptable outcome as secondary use of the Universal Access WC can be considered a third Female WC.

- Department of Health and DBCA Temporary Events Planning Advice:

Toilets for temporary events

These figures are for events where alcohol is available. If alcohol is not available, then reduce the requirements in the table below by 50%.

Table 18. The number of toilets required for temporary events.

Total Attendance	Male Facilities			Female Facilities	Hand Basins	
	WC's	Urinal Metres	Urinals	WCs	Male	Female
1,000	2	1.5	3	5	1	1
1,000 – 2,000	3	3	6	10	2	2
2,000 – 3,000	4	4.5	9	15	3	3
3,000 – 4,000	5	6	12	20	4	4
4,000 – 5,000	6	7.5	15	25	5	5

Conversion of Store Proposal

Total No.	Male Facilities		Female Facilities	Hand Basins		plus UA double use
	WC's	Urinals	WCs	Male	Female	
250 - 400 no alcohol	1	2	2	2	2	plus 1 F

New amenities fitout of 1 male WC, 2 urinals, 2 female WC's, 1 unisex UA, with five handbasins is proposed. This would cover the two National Trust annual events, Anzac Day and Carols by Candlelight, with numbers of 250-400 people. These events are alcohol free events.

The above proposed fixture numbers do not include the existing Female and Male WC in the western end of the Main House, which will be demolished.

Proposed changes to the c1980 Store

One male, one female and one unisex universal access toilet are proposed within the existing footprint of the store. A baby change table will also be provided in the development. One internal wall is to be retained and one demolished. The new facilities layout fits the above number of facilities within this space. External doors to the store room will be renovated and new compliant single doors and infill walls added to the brick structure. Double barn doors on the west will be painted and reinstated over new infill stud walls. New plumbing services will be installed in the building which will require ground disturbance works. Chance finds will be attended to by an historic archaeologist.

A dwarf masonry retaining wall, under 0.5m height, may edge new path and landscape works. Brick paving will be replaced with an exposed aggregate Holcim poured concrete path, which will be colour matched to blend with the brown pea-gravel paths elsewhere.

Toilet removed in west end of Main House

The internal fittings, fixtures and WC partition walls will be demolished from the toilet spaces. The exterior of these rooms in the north and south west ends of the Main House will not be changed.

Conservation works to Main House

- The works would include like for like repairs and maintenance including roofing, timbers and fascias, rendered/bagged painted walls and existing painted joinery. These works will not change the external appearance of building fabric. When structural work is scoped this will be proposed in a separate development application.
- Removal of white infill balustrade to the south elevation laundry and verandah, and installation of a landscaped step ramp to the existing verandah. Patch and make good the existing timber posts.

6.2 Conservation Policies

A number of policies are included in the 2005 Peninsula Farm Conservation Plan that are relevant to this development, these include;

Policy No.	Policy description	Comments
1.4	Peninsula Farm should be conserved as a place of exceptional significance. However fabric and elements of lower significance as identified in the conservation plan may be altered or removed as recommended.	All fabric proposed to be altered/removed in this proposal is of little significance. The place is to be conserved as a place of exceptional significance and the significant fabric of the historic house will not be impacted.
1.5	All work undertaken to conserve, adapt or develop the Peninsula Farm buildings and site should be appropriate to the assessed significance of the place, should be in accordance with the recommendations of the conservation plan and should be guided by experienced conservation practitioners.	Works have been guided by the 2005 Conservation Plan and expert consideration of National Trust heritage architects.
2.6	Where Peninsula Farm has been extended or adapted, the work should be distinguished from the original fabric of the building where possible.	New works are distinguished as such.
2.1	The future use of Peninsula Farm for community purposes and heritage interpretation, is appropriate. Public access to the building should be retained in any future development or change of use.	Public access is being retained to Peninsula Farm and toilet amenities are for public use when National Trust holds events. The Main House continues to be open to the general public and school groups.

4.2	New structures may only be constructed on the site if they are required as part of the interpretation of the significant history of the place. They should be placed where they will have most relevance and impact. New structures should be obviously new and located to the north of the house only.	No new structures are proposed.
4.3	Consideration should be given to the relocating of the toilets out of the stores on the south and north of the outbuilding and restoration of these areas of the building to original detail as far as can be determined. A separate toilet block should be provided. This could be incorporated into part of the former warden's quarters.	Toilets are proposed to be located within the c1980 store.
4.4	Consideration should be given to the views of relevant stakeholders regarding any changes that are proposed that may impact on their work. They should be consulted through currently established procedures as part of any proposed change of use or development program and their concerns taken into account, together with other relevant issues, in the decision making process..	Feedback from neighbours and stakeholders confirmed that neighbours do not enjoy seeing portaloos on the site. This proposal resolves this perceived problem.
6.1	Site works, which will disturb the archaeological evidence of this place, should be preceded by archaeological investigation to determine the extent and location of archaeological deposits within the area to be affected.	NTWA has a chance finds procedure. The trenching for the toilet services is on highly disturbed land.
9.10	The use of the former stores for the ladies' and men's toilets is not appropriate and distorts the history of use of the building. It is recommended that consideration be given to providing separate toilet facilities not part of the significant building. This could take the form of a new building, or be incorporated into the former Warden's quarters (tearooms) or could be an adaptation of the 1988 garden store.	Toilets are proposed to be located within the c1980 store on site. Toilets inside the Main House are no longer required and are to be removed.

10.19	CMP policy 10.19 supports removal of the c1976 balustrade on the south verandah	The south verandah and outdoor laundry area will be made open again. The balustrade is an accretion which, once removed, supports authentic interpretation of Peninsular Farm, as a colonial house.
10.20	CMP policy 10.20 supports removal of all plumbing fixtures and finishes installed to the ladies toilet in the Main House, and also the former store (currently the Male WC). Both rooms were probably constructed by the early twentieth century and fit out as toilets in 1976. Policy recommends the rooms become store rooms again.	The proposal follows this policy.

6.3 Consultation

As part of a masterplan process, the National Trust have consulted extensively with the community in recent years. Some of the community have stated a wish that new toilets replace hiring of portaloos for National Trust events. This Development application supports the wishes of these community members.

7.0 Heritage Impact assessment

7.1 Relevant historical fabric changes

The following details are referred to in the 2005 conservation plan:

1839	Peninsula Farm homestead built
1890	Peninsula Farm advertised for lease
1913	Peninsula Farm sold to Henry Baker
1967	Peninsula Farm listed by National Trust
1978	NTWA obtains title of Peninsula Farm
1984	Wardens House constructed
C1980	Store room constructed
1996	Wardens house converted to cafe

In summary, the café building has been extensively changed over its limited lifetime and is deemed to be of little significance.

7.2 Analysis

Statement of Significance	Heritage Impact Assessment
the place is believed to be the oldest extant residence, and the only example of a homestead and outbuilding in the Old Colonial Georgian style and dating from the first decade of the Swan River colony, extant in metropolitan Perth;	Minor positive impact, with removal of accretions and conservation of significant fabric.
the place was the home of Joseph Hardey and his family who arrived on the ship the Tranby in 1830 and were the first Methodists to come to Western Australia. The Hardey family introduced Methodism into Western Australia, influenced the religious and political life of the colony, and contributed significantly to the cost of construction of Wesley Methodist Church in Perth in the 1860s;	No discernable impact.
the place was associated with the development of various industries on the peninsula, including vineyards introduced by Richard Watson Harvey, brickworks, grazing and, in the twentieth century, horse racing;	No discernable impact
the place has been vested in the National Trust since 1977 and as such is significant to the people of Western Australian both as an historic property, and as an important interpretive and teaching site, providing an insight into the state's early colonial history; and	Minor positive impact, with removal of accretions and conservation of significant fabric. Archaeological potential is retained.
the place is a significant landmark on the Swan River foreshore. It has aesthetic value for the simple Georgian form, detail and proportions of the buildings, which together with mature oak trees around the perimeter of the building, form a visually attractive composition.	No discernable impact
The place is held in high esteem by the general community as an historic place, and focus of cultural tourism.	Positive minor impact. The provision of amenities for public events supports ongoing community enjoyment of the place.

7.3 Heritage Impact Summary

The proposal is considered to have a minor positive impact due to the minimal extent of change to fabric of little significance. These works will not directly impact the identified heritage values of the place, yet will support community enjoyment of this landmark site.

The proposed works also provide a long term improvement to the condition of the shed, and Main House.

8.0 Conclusion

The National Trust consider that the proposal aligns with the principles of *The Burra Charter*, State Planning Policy 3.5, and follows detailed policy guidance in the Conservation Management Plan. The focus of the proposed works is to retain the overall significance of the place. The new amenities support community events, and ensure the ongoing activation of Peninsula Farm. Ongoing conservation and interpretation of the Main House protects the fabric and realises the educational potential of Peninsula Farm as a colonial house.



9.0 References

Australia ICOMOS Incorporated. 2013. "The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance."

July 2019. *Delegation Framework, National Trust of Australia (WA)*. Heritage Council Western Australia.

Heritage and Conservation Professionals. 2005. *Peninsula Farm Conservation Plan*.

Heritage Council, State Heritage Office, DPLH. 2016. *Inherit*. 31 December. Accessed February 10, 2021. <http://inherit.stateheritage.wa.gov.au/Public/Inventory/Details/1eec0f08-1835-4e86-94ed-d0552efc50f4>.

SPP3.5 Historic Heritage conservation

PENINSULA FARM

2C JOHNSON ROAD, MAYLANDS WA 6051

APRIL 2022

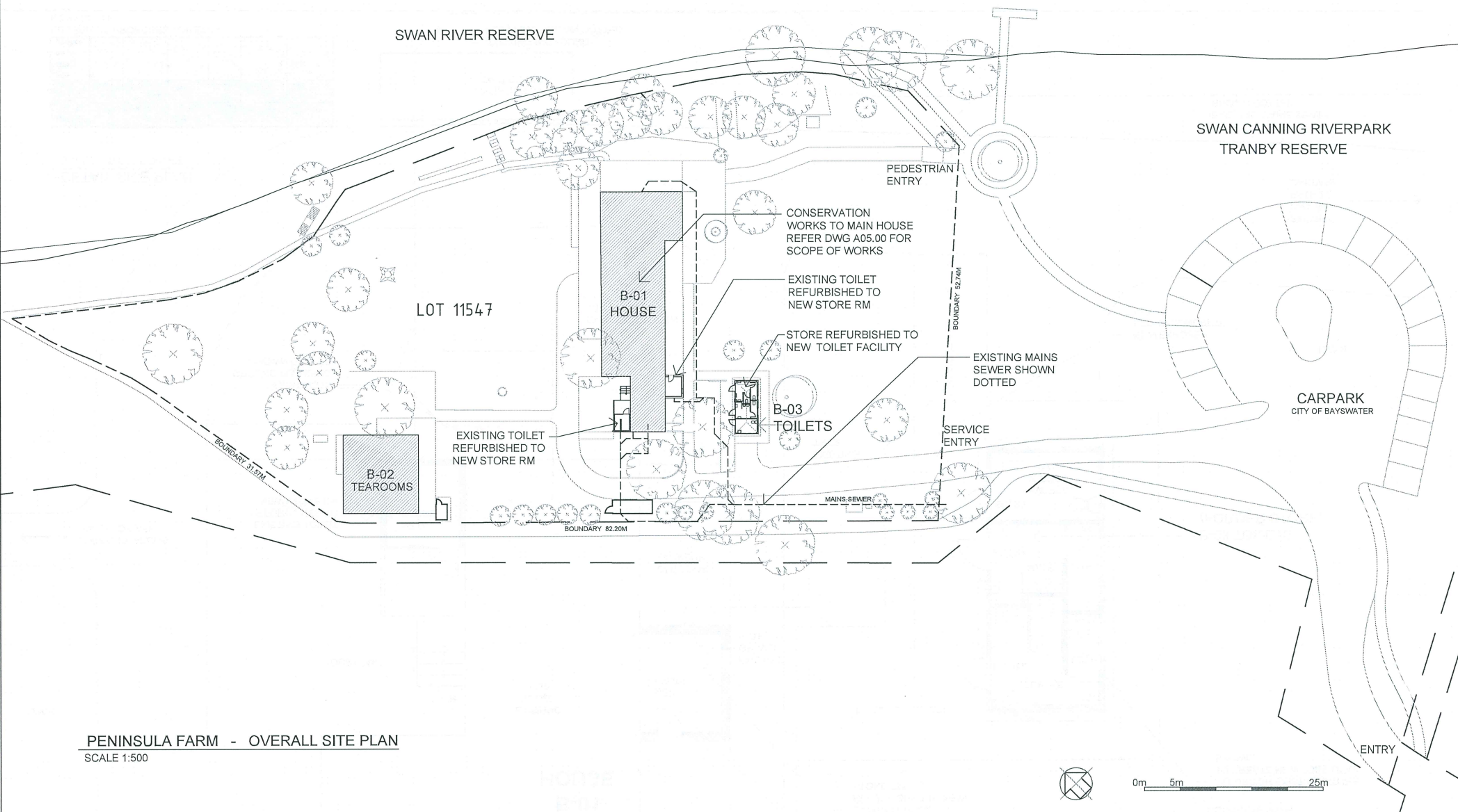
SCHEDULE OF DRAWINGS

PENINSULA FARM

Toilets and Conservation Works to Main House

Overall Site Plan	1:500	A01.00
Detail Site Plan	1:100	A02.00
Toilets Demolition + proposed Floor Plan	1:50	A03.00
Toilets Existing and Proposed Elevations	1:100	A04.00
Main House Floor Plan	1:100	A05.00
Main House SE + NW Elevations	1:100	A06.00
Main House SW+ NE Elevations	1:100	A07.00

National Trust of Western Australia
 The Old Observatory
 4 Havelock Street, West Perth
 PO Box 1162, West Perth WA 6872
 Phone: (08) 9321 6088
 Email: trust@ntwa.com.au
 Web: www.nationaltrust.org.au/wa



PENINSULA FARM - OVERALL SITE PLAN
SCALE 1:500

The National Trust of Western Australia
 4 Havelock Street, West Perth
 PO Box 1162,
 West Perth WA 6872
 Phone: (08) 9321 6088
 Fax: (08) 9324 1571
 Email: trust@ntwa.com.au
 Web: www.nationaltrust.org.au

HERITAGE PLACE
 This property is an important heritage place included on the WA State Register of Heritage Places. A cautious approach to all works is essential. If at any time there is doubt or confusion in regards to an instruction on the drawings or specification, or if investigations on site reveal some unexpected issue, the Contractor must immediately contact the Principal's Representative and await further instruction before proceeding. All dimensions to be checked on site prior to works being carried out. Notify the Principal's Representative of any discrepancies or errors. Wall thickness vary along the wall length and height. The measurements shown are an estimation of average thickness and height. Likewise, walls are not straight, vertical or parallel, and drawings are an estimate of the average. Site information is also only representative, with the location of ALL services being only approximations.

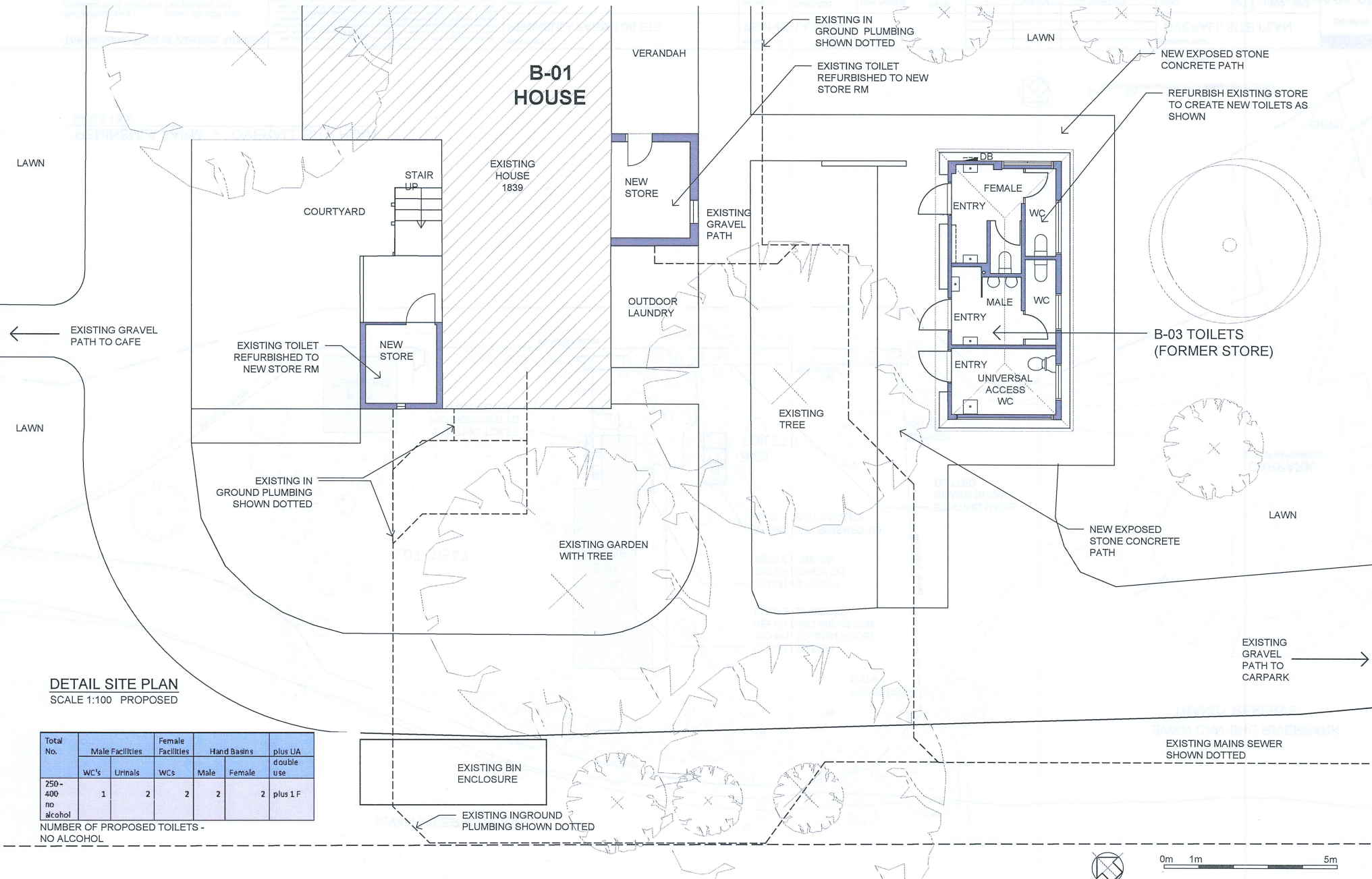
PROJECT TITLE
 PENINSULA FARM TOILETS
PROPERTY ADDRESS
 2C JOHNSON ROAD, MAYLANDS WA 6055

PROPERTY TITLE
 PENINSULA FARM
PROJECT No PM20-005 **NTWA PLACE ID** PENF
FILE LOCATION S:\NTWA\Place Management\Peninsula Farm\Project\2022\PENF Toilets

REVISION	DATE	COMMENT
A	19/04/2022	DA SUBMISSION

DRAWING TITLE
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SCALE @A1 1:500 @A3
DATE APRIL 2022 **DRAWN BY** CS

DRAWING	REV
A01.00	A



DETAIL SITE PLAN
SCALE 1:100 PROPOSED

Total No.	Male Facilities		Female Facilities		Hand Basins		plus UA double use
	WC's	Urinals	WCs	Male	Female		
250-400 no alcohol	1	2	2	2	2	2	plus 1 F

NUMBER OF PROPOSED TOILETS - NO ALCOHOL

The National Trust of Western Australia

The Old Observatory
4 Havelock Street, West Perth
PO Box 1162,
West Perth WA 6872

Phone: (08) 9321 6088
Fax: (08) 9324 1571
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PENINSULA FARM TOILETS

PROPERTY ADDRESS
2C JOHNSON ROAD, MAYLANDS WA 6055

PROPERTY TITLE
PENINSULA FARM

PROJECT No PM20-005 **NTWA PLACE ID** PENF

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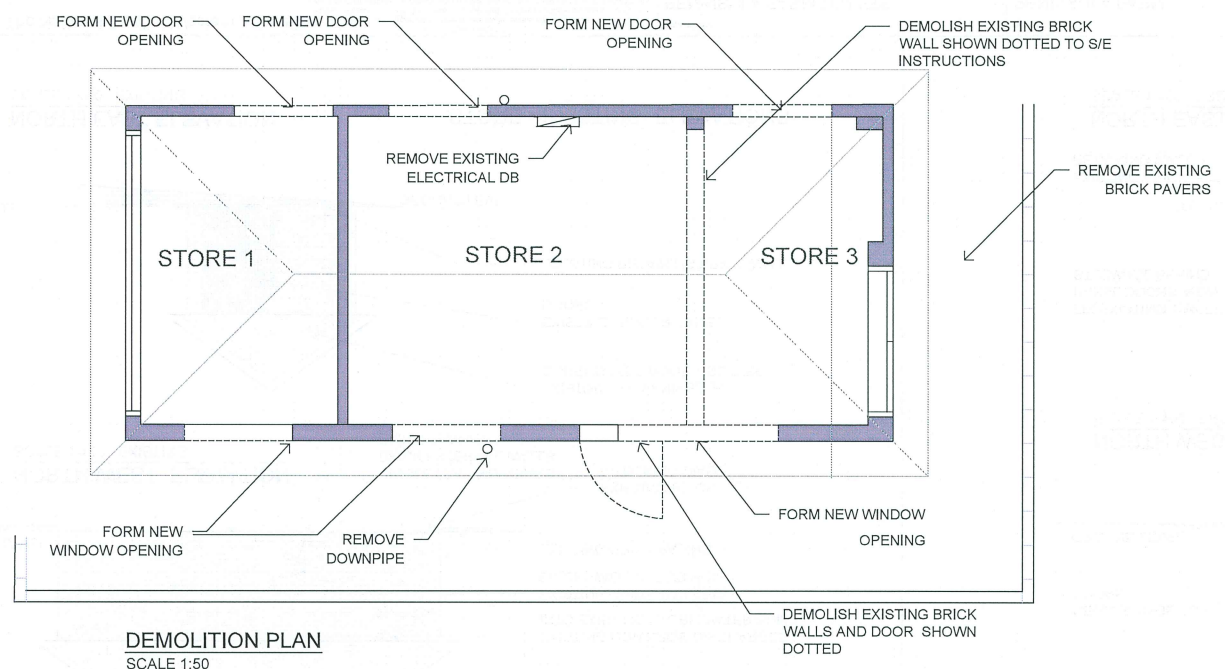
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DATE APRIL 2022 **DRAWN BY** CS

DRAWING A02.00 **REV** A



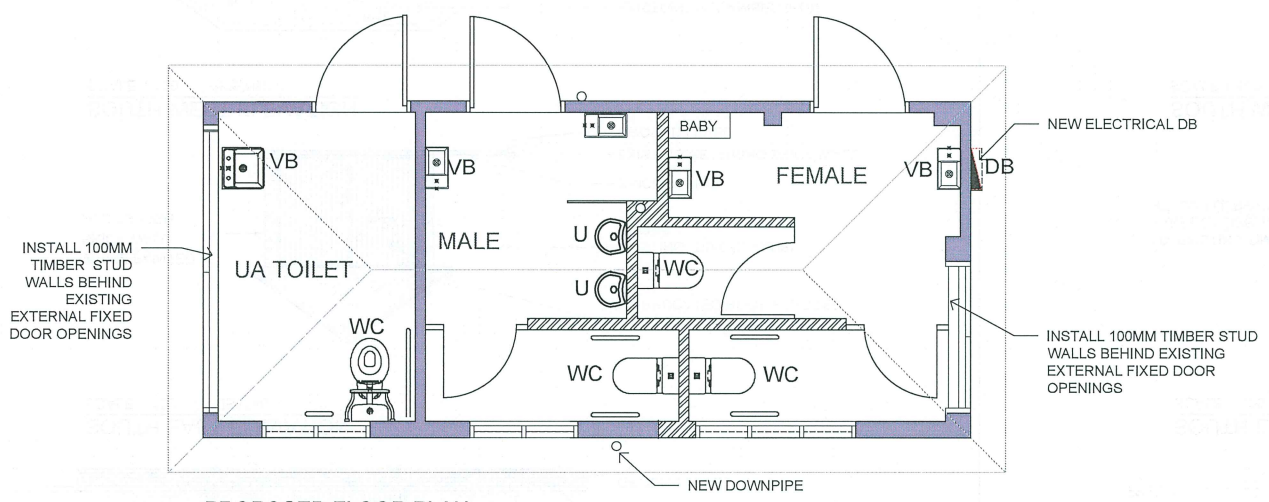
DEMOLITION WORKS:

----- DASHED LINES INDICATE PROPOSED DEMOLITION WORKS.

DISCONNECT RELEVANT SERVICES PRIOR TO DEMOLITION WORK. LOCATE AND PROTECT ALL RETAINED UTILITIES THROUGHOUT WORKS.

FIX EXISTING EXTERNAL DOORS SHOWN WHERE SHOWN

DEMOLITION PLAN
SCALE 1:50



NEW WORKS:

- EXISTING BRICK WALL
- NEW BRICKWORK
- REPLACE OR MAKE GOOD EXISTING CONCRETE FLOOR SLAB TO FORM NEW FLOOR PLAN
- TOOTH NEW BRICK WALLS INTO EXISTING BRICKWORK AND MAKE GOOD
- INSTALL 100MM TIMBER STUD WALLS BEHIND EXISTING EXTERNAL FIXED DOOR OPENINGS
- LIMEWASH EXTERIOR WALLS
- NEW PLUMBING LAYOUTS AND CONNECT ALL NEW SERVICES TO EXISTING.
- CONNECT ALL NEW SERVICES TO EXISTING.
- PAINT FLOOR IN NON SLIP PAINT
- INSTALL NEW TIMBER FRAMED DOORS AND WINDOWS
- NEW ALUMINIUM FRAMED LOUVRES IN TIMBER WINDOW FRAMES WINDOWS, WITH SS MESH SCREENS FOR VENTILATION
- NEW ELECTRICAL DISTRIBUTION BOARD, LOCATED EXTERNALLY.
- INSTALL NEW CEILING WITH LIGHT FITTINGS AND SMOKE DETECTORS
- INSTALL GRAB RAILS AND WC PARTITIONS
- INSTALL PLUMBING FIXTURES AND FITTINGS
- INSTALL 1 X BABY CHANGE TABLE
- INSTALL OVERHEAD CUPBOARD IN MALE & FEMALE WC

PROPOSED FLOOR PLAN
SCALE 1:50

The National Trust of Western Australia

The Old Observatory
4 Havelock Street, West Perth
PO Box 1162,
West Perth WA 6872

Phone: (08) 9321 6088
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PROJECT TITLE
PENINSULA FARM TOILETS

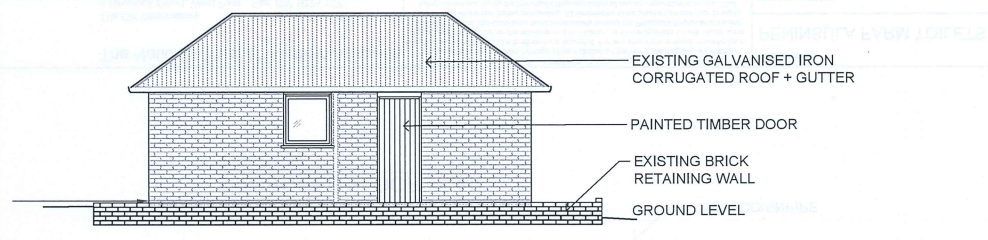
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2C JOHNSON ROAD, MAYLANDS WA 6055

PROPERTY TITLE
PENINSULA FARM

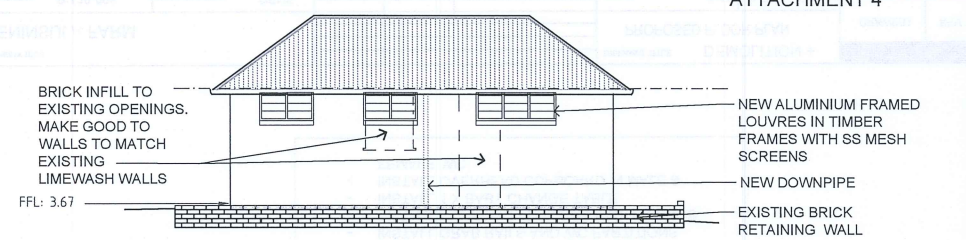
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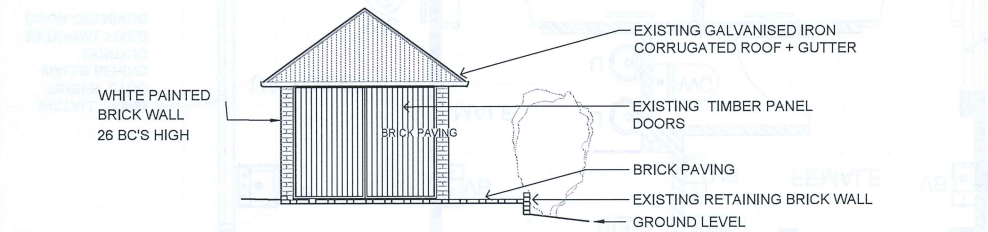
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APRIL 2022	A	19/04/2022	DA SUBMISSION	



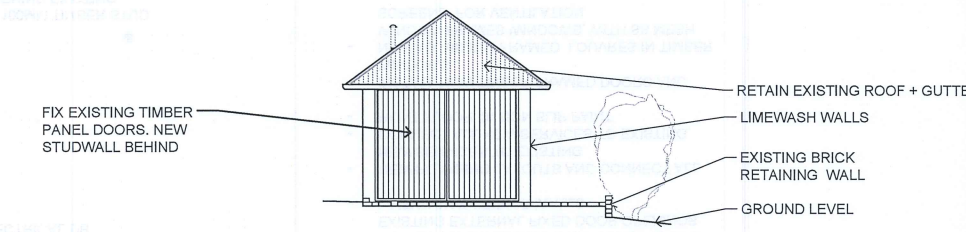
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SCALE 1:100 EXISTING



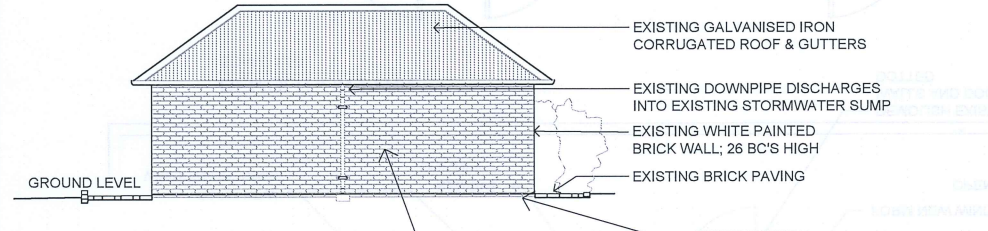
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SCALE 1:100 PROPOSED



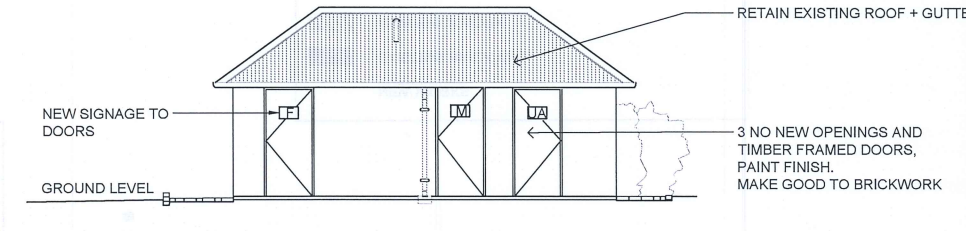
SOUTH WEST ELEVATION
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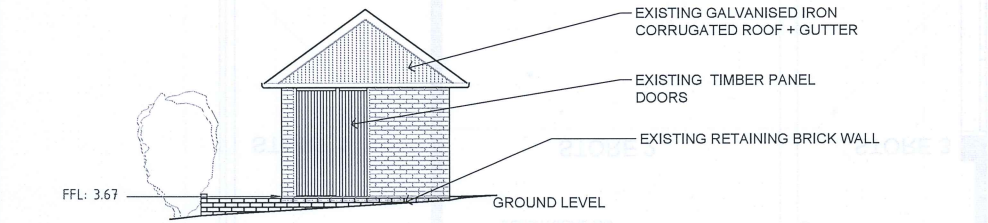
SOUTH WEST ELEVATION
SCALE 1:100 PROPOSED



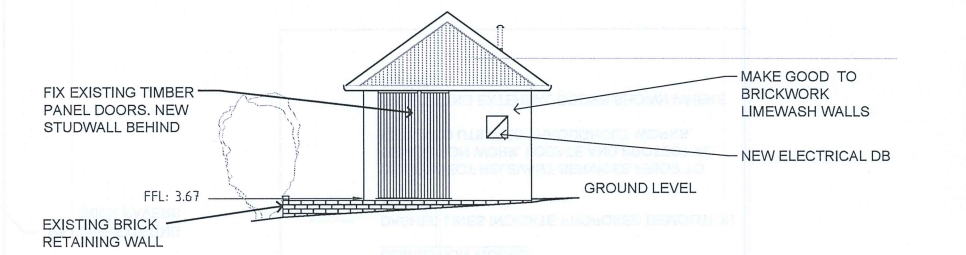
NORTH WEST ELEVATION
SCALE 1:100 EXISTING



NORTH WEST ELEVATION
SCALE 1:100 PROPOSED



NORTH EAST ELEVATION
SCALE 1:100 EXISTING

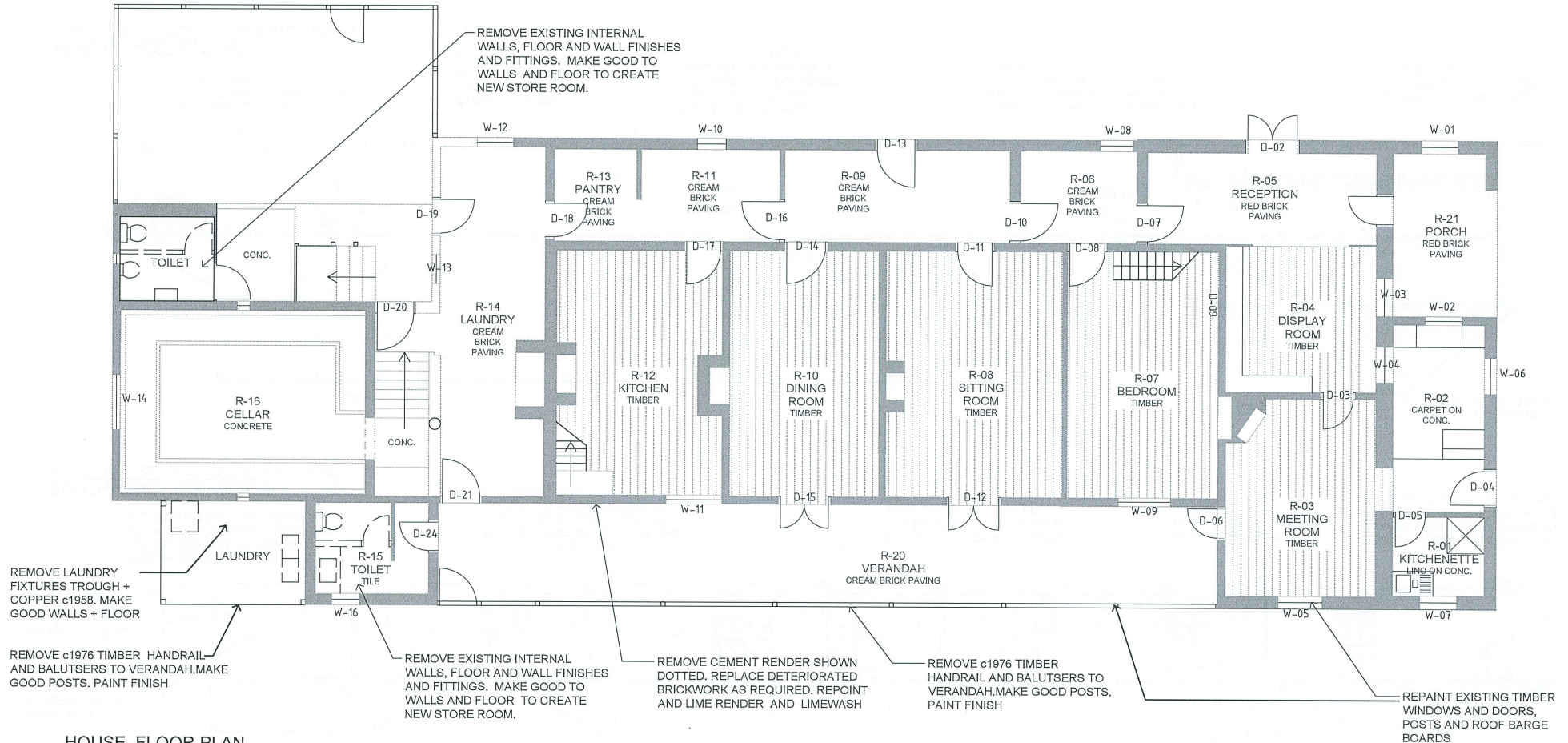


NORTH EAST ELEVATION
SCALE 1:100 PROPOSED

TOILETS- PROPOSED ELEVATIONS



The National Trust of Western Australia The Old Observatory 4 Havelock Street, West Perth PO Box 1162, West Perth WA 6872 Phone: (08) 9321 6088 Fax: (08) 9324 1571 Email: trust@ntwa.com.au Web: www.nationaltrust.org.au	HERITAGE PLACE This property is an important heritage place included on the WA State Register of Heritage Places. A cautious approach to all works is essential. If at any time there is doubt or confusion in regards to an instruction on the drawings or specification, or if investigations on site reveal some unexpected issue, the Contractor must immediately contact the Principal's Representative and await further instruction before proceeding. All dimensions to be checked on site prior to works being carried out. Notify the Principal's Representative of any discrepancies or errors. Wall thickness vary along the wall length and height. The measurements shown are an estimation of average thickness and height. Likewise, walls are not straight, vertical or parallel, and drawings are an estimate of the average. Site information is also only representative, with the location of ALL services being only approximations.	PROJECT TITLE PENINSULA FARM TOILETS	PROPERTY TITLE PENINSULA FARM	DRAWING TITLE EXISTING + PROPOSED ELEVATIONS	DRAWING REV	
	PROJECT ADDRESS 2C JOHNSON ROAD, MAYLANDS WA 6057	PROJECT No PM20-005 NTWA PLACE ID PENF	A	19/04/2022	UA SUBMISSION	SCALE @A1 1:100 @A3
	FILE LOCATION S:\NTWA\Place Management\Peninsula Farm\Projects\0022 PENF Toilets	REVISION	DATE	COMMENT	DATE APRIL 2022	DRAWN BY CS
	A04.00					A

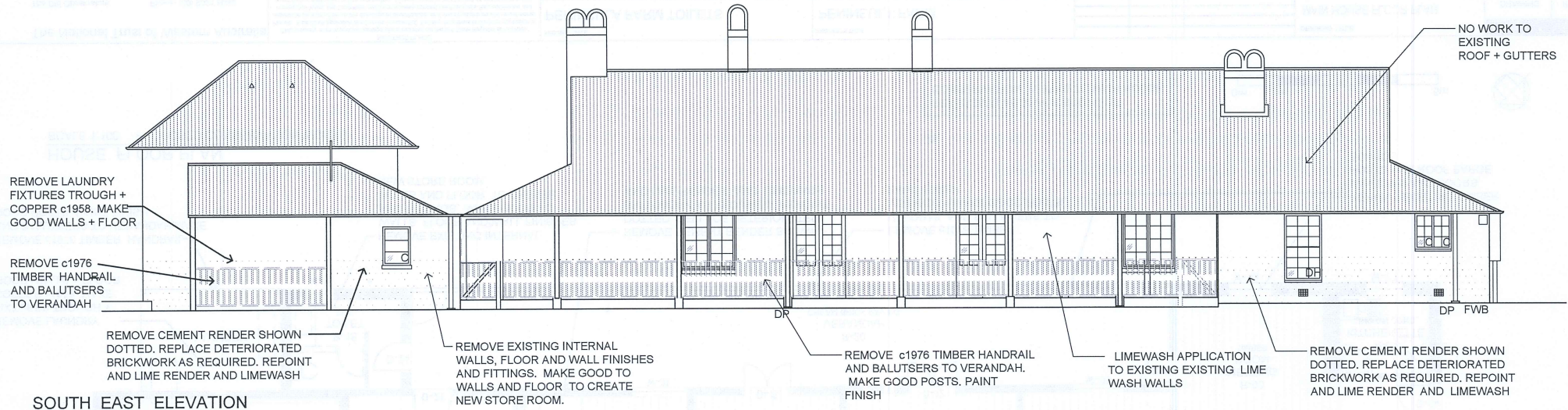


HOUSE FLOOR PLAN
SCALE 1:100 PROPOSED CONSERVATION WORKS

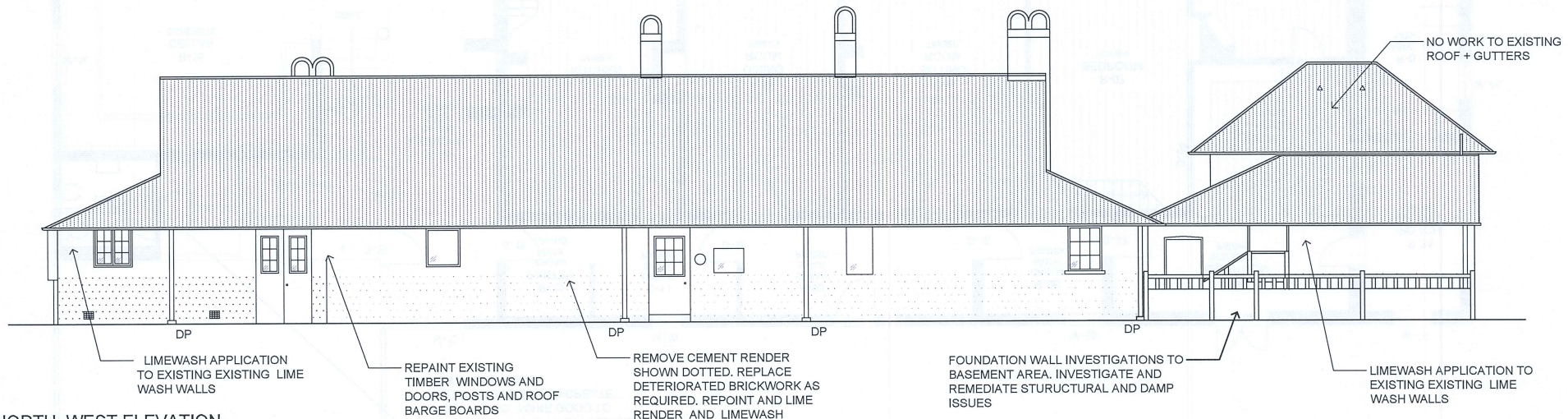
REFER DWG A6.00 FOR SCOPE OF CONSERVATION WORKS TO MAIN HOUSE



The National Trust of Western Australia 4 Havelock Street, West Perth PO Box 1162 West Perth WA 6872 Phone: (08) 9321 6088 Fax: (08) 9324 1571 Email: trust@ntwa.com.au Web: www.nationaltrust.org.au	HERITAGE PLACE This property is an important heritage place included on the WA State Register of Heritage Places. A cautious approach to all works is essential, if at any time there is doubt or confusion in regards to an instruction on the drawings or specification, or if investigations on site reveal some unexpected issue, the Contractor must immediately contact the Principal's Representative and await further instruction before proceeding. All dimensions to be checked on site prior to works being carried out. Notify the Principal's Representative of any discrepancies or errors. Wall thicknesses vary along the wall length and height. The measurements shown are an estimation of average thickness and height. Likewise, walls are not straight, vertical or parallel, and drawings are an estimate of the average. Site information is also only representative, with the location of ALL services being only approximations.	PROJECT TITLE PENINSULA FARM TOILETS	PROPERTY TITLE PENINSULA FARM	DRAWING TITLE MAIN HOUSE FLOOR PLAN			DRAWING A05.00	REV A	
		PROPERTY ADDRESS 2C JOHNSON ROAD, MAYLANDS WA 605	PROJECT No PM20-005	NTWA PLACE ID PENF	SCALE @A1	DATE 1:100	@A3		
		FILE LOCATION S:\NTWA\Place Management\Peninsula Farm\Projects\0222 PENF Toilets	REVISION A	DATE 19/04/2022	COMMENT DA SUBMISSION	DATE APRIL 2022	DRAWN BY CS		



SOUTH EAST ELEVATION
SCALE 1:100 PROPOSED CONSERVATION WORKS

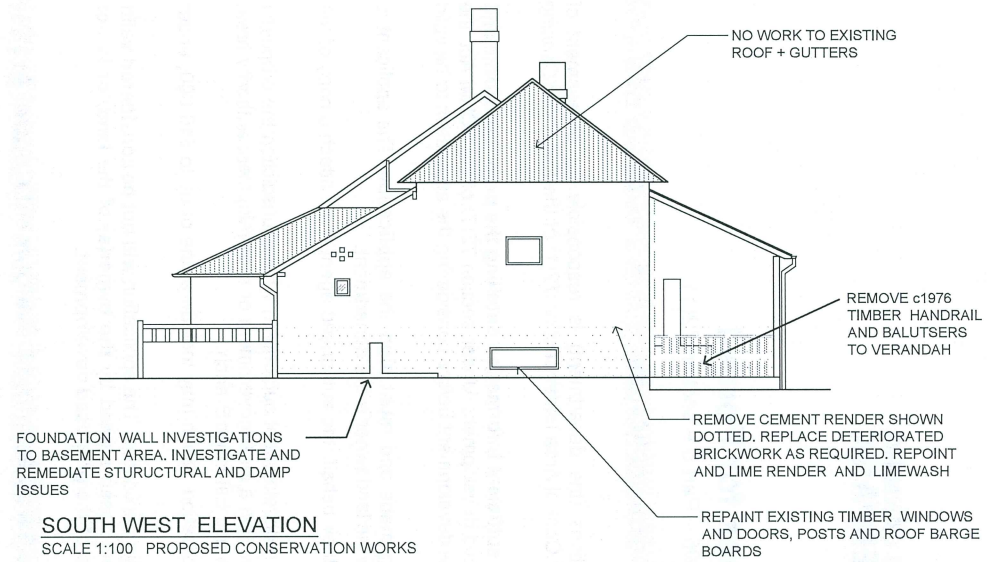


NORTH WEST ELEVATION
SCALE 1:100 PROPOSED CONSERVATION WORKS

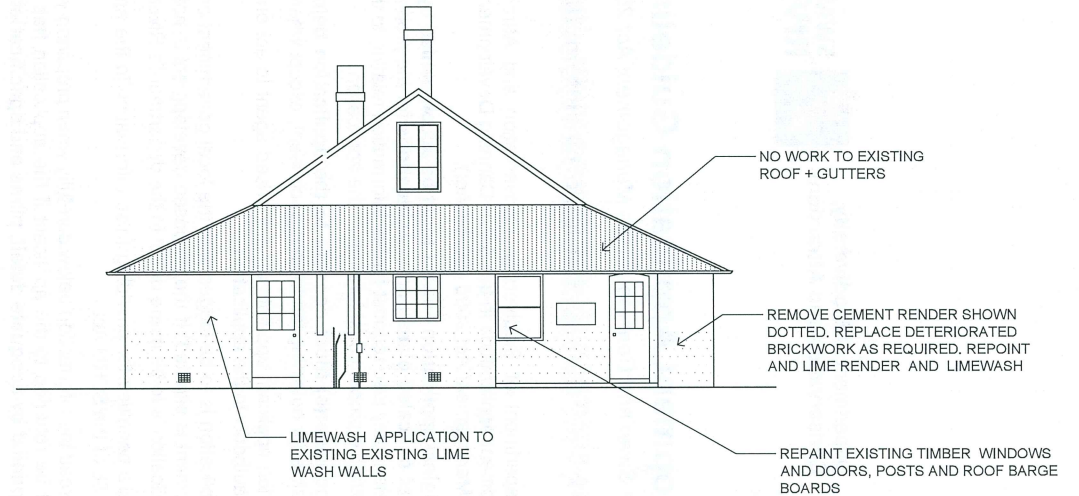
<p>MAIN HOUSE CONSERVATION WORKS</p> <p>DEMOLITION 2no. toilet areas, remove internal walls, and fittings and fixtures as documented. No change in the external walls of the 2 toilet areas. Remove laundry fixtures - trough and copper. Remove painted timber balustrade on the SE elevation verandah.</p>	<p>CARPENTRY REPAIRS Strengthen, repair and replace rotten timber members identified. Treat timbers exposed to dampness and water as specified. Repair timber posts as required. Replace missing or damaged timber mouldings, fascias, joinery elements.</p> <p>FOUNDATION WALL INVESTIGATIONS Investigate foundations and basement. Remediate structural and damp issues.</p>	<p>REMOVE CEMENT RENDER AND REPAIR WALL FINISHES External brickwork of the Main House is variously rendered, light cement bagged, or painted. Selected cement render will be removed from 1.2m to ground level. Brick replacement where required, repoint, lime render, and limewash existing lime washed surfaces</p> <p>EXTERNAL PAINTING Repaint existing painted timber posts and barges, windows and doors, and walls, in selected colour scheme.</p>
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<p>The National Trust of Western Australia</p> <p>The Old Observatory 4 Havelock Street, West Perth PO Box 1162, West Perth WA 6872</p> <p>Phone: (08) 9321 6088 Fax: (08) 9324 1571 Email: trust@ntwa.com.au Web: www.nationaltrust.org.au</p>	<p>HERITAGE PLACE This property is an important heritage place included on the WA State Register of Heritage Places. A cautious approach to all works is essential. If at any time there is doubt or confusion in regards to an instruction on the drawings or specification, or if investigations on site reveal some unexpected issue, the Contractor must immediately contact the Principal's Representative and await further instruction before proceeding. All dimensions to be checked on site prior to works being carried out. Notify the Principal's Representative of any discrepancies or errors. Wall thicknesses vary along the wall length and height. The measurements shown are an estimation of average thickness and height. Likewise, walls are not straight, vertical or parallel, and drawings are an estimate of the average. Site information is also only representative, with the location of ALL services being only approximations.</p>	<p>PROJECT TITLE PENINSULA FARM TOILETS</p>	<p>PROPERTY TITLE PENINSULA FARM</p>				<p>DRAWING TITLE HOUSE SE + NW ELEVATIONS</p>		<p>DRAWING REV A06.00 A</p>
		<p>PROJECT ADDRESS 2C JOHNSON ROAD, MAYLANDS WA 6057</p>	<p>PROJECT No PM20-005</p>	<p>NTWA PLACE ID PENF</p>	<p>REVISION A</p>	<p>DATE 19/04/2022</p>	<p>COMMENT DA SUBMISSION</p>	<p>SCALE @A1 1:100 @A3</p>	



SOUTH WEST ELEVATION
SCALE 1:100 PROPOSED CONSERVATION WORKS



NORTH EAST ELEVATION
SCALE 1:100 PROPOSED CONSERVATION WORKS

REFER DWG A6.00 FOR SCOPE OF CONSERVATION WORKS TO MAIN HOUSE

<p>The National Trust of Western Australia</p> <p>The Old Observatory 4 Havelock Street, West Perth PO Box 1162, West Perth WA 6872</p> <p>Phone: (08) 9321 6088 Fax: (08) 9324 1571 Email: trust@ntwa.com.au Web: www.nationaltrust.org.au</p>	<p>HERITAGE PLACE</p> <p>This property is an important heritage place included on the WA State Register of Heritage Places. A cautious approach to all works is essential, if at any time there is doubt or confusion in regards to an instruction on the drawings or specification, or if investigations on site reveal some unexpected issue, the Contractor must immediately contact the Principal's Representative and await further instruction before proceeding. All dimensions to be checked on site prior to works being carried out. Notify the Principal's Representative of any discrepancies or errors. Wall thicknesses vary along the wall length and height. The measurements shown are an estimation of average thickness and height. Likewise, walls are not straight, vertical or parallel, and drawings are an estimate of the average. Site information is also only representative, with the location of ALL services being only approximations.</p>	<p>PROJECT TITLE</p> <p>PENINSULA FARM TOILETS</p> <p>PROPERTY ADDRESS</p> <p>2C JOHNSON ROAD, MAYLANDS WA 605</p>	<p>PROPERTY TITLE</p> <p>PENINSULA FARM</p> <p>PROJECT No PM20-005 NTWA PLACE ID PENF</p> <p>FILE LOCATION S:\NTWA\Place Management\Peninsula Farm\Projects\2022 PENF Toilets</p>	<p>DRAWING TITLE</p> <p>HOUSE SW+ NE ELEVATIONS</p>			<p>DRAWING REV</p> <p>A07.00 A</p>			
				<p>REVISION DATE COMMENT</p> <p>A 19/04/2022 DA SUBMISSION</p>				<p>SCALE @A1 1:100 @A3</p>		
				<p>DATE APRIL 2022</p>				<p>DRAWN BY CS</p>		
				<p>REVISION DATE COMMENT</p>				<p>SCALE @A1 1:100 @A3</p>		



Department of Biodiversity,
Conservation and Attractions



SWAN CANNING
RIVERPARK

Development Application Guidelines for Form 1

Under the Swan and Canning Rivers Management Act 2006 – Part 5 – section 72(1)

Important information for applicants

1. The Department of Biodiversity, Conservation and Attractions (the department) is responsible for assessment of development applications in the Swan Canning Development Control Area under section 72(1) of the *Swan and Canning Rivers Management Act 2006* (SCRM Act).
2. The **original application Form 1 must be accompanied by sufficient information detailing the proposed works and a full set of scaled plans and specifications** for the proposed development. Under section 72(7) of the SCRM Act, the department may also request further information relating to the development before considering the application to be valid and to enable proper consideration of the application.
3. The **landowner(s) must consent to the application being made and must sign the application**. The applicant is responsible for obtaining landowner(s) consent, except where the landowner is the department.
4. Where the applicant appoints an authorised agent to act on their behalf, the authorised agent must attach a copy of the written authority to the application.
5. The application is to be lodged with the local government or redevelopment authority in whose jurisdiction the proposed development is situated. If the proposed development is not within a local government or redevelopment authority area, the application is to be made direct to the department's Rivers and Estuaries Branch.
6. There are penalties for providing false information in the application, which may include a fine of up to \$10 000, under section 88 of the SCRM Act.
7. Please read the information below carefully when preparing your application. The application **will not be considered valid** and will be returned to the applicant if the application **has not been signed by the owner(s) of the land, or is not accompanied by adequate detail, plans and specifications of the proposed development**.

Planning Policies for development affecting the Swan Canning Development Control Area

Development proposals must be consistent with the purpose and objectives of the SCRM Act, which provides for the protection and enhancement of the ecological health, community benefit, amenity and heritage value of the Swan Canning river system. A range of planning policies have been created to guide land use and development and provide for consistent and integrated planning and decision making in relation to the Swan Canning Development Control Area.

The policies provide guidance regarding the issues that are considered when assessing an application. Where possible please address any relevant issues identified in the policies and include this supplementary information with the application.

Corporate Planning Policies for development affecting the Swan Canning Development Control Area

The department has a range of policies, guidelines and plans relevant to development affecting the Swan Canning Development Control Area which are available online: <https://www.dpaw.wa.gov.au/management/swan-canning-riverpark/planning-development-and-permits/456-policy-and-guideline-list>

These documents provide direction and guidance regarding how the department assesses development applications in accordance with the SCRM Act and Swan and Canning Rivers Management Regulations 2007.

State Planning Policy 2.10 - Swan Canning River System (SPP 2.10)

State planning policies (SPPs) provide the highest level of planning policy control and guidance in Western Australia. SPPs are prepared under Part 3 of the *Planning and Development Act 2005*.

SPP 2.10 identifies the key issues for planning and decision making for the Swan Canning river system and is available on the Department of Planning, Lands and Heritage website: <https://www.dplh.wa.gov.au/spp2-10>

Other relevant planning policies, guidelines and Australian Standards that address issues such as (but not limited to): design, lighting, wetlands, bushfire planning, visual impacts, stormwater, contaminated sites, acid sulphate soils, bushland conservation and water quality may also be considered during the assessment.



Department of Biodiversity,
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Checklist of information to include with a Form 1 application

To assist the efficient assessment of applications please include the detail requested below and any other additional information relevant to the proposal.

Item	<input checked="" type="checkbox"/>	N/A
Completed application form, including written consent of the landowner(s).	<input type="checkbox"/>	
Additional information including details of the development proposed (including the existing and proposed use of the site and proposed hours of operation) and addressing any relevant issues identified in the policies.	<input type="checkbox"/>	
Plans and specifications of the proposed development. The plans should be at a scale of 1:200 or 1:100 showing: <ul style="list-style-type: none"> current and proposed levels (contours at no greater than 1 metre intervals), including retaining structures and fill requirements the location, metric dimensions, materials, finishes and type of all existing and proposed structures, including services sections through the site the nature and extent of any open space and landscaping proposed proposed external lighting and signage any watercourse flowing through the site position of any large trees or on-site vegetation clearly marking vegetation to be retained and removed the existing and proposed means of access and egress for pedestrians and vehicles 	<input type="checkbox"/>	
Plans, elevations and sections, as appropriate, of any building or structure proposed to be erected or altered and of any building or structure to be retained.	<input type="checkbox"/>	
Site plans of the lot showing the development location in relation to: <ul style="list-style-type: none"> adjacent roads rivers, creeklines and wetlands nearby conservation areas and/or Bush Forever sites floodway and floodplain boundaries land reserved for Parks and Recreation under the Metropolitan Region Scheme 	<input type="checkbox"/>	
Information on the availability of drainage and sewer.	<input type="checkbox"/>	
Information on any impacts to heritage sites and subsequent approvals (if required).	<input type="checkbox"/>	<input type="checkbox"/>
Information regarding potential acid sulphate soils and/or contamination. Broad-scale risk maps for several coastal regions of WA are accessible via data.wa.gov.au .	<input type="checkbox"/>	
If the proposed development is likely to disturb potential and/or actual acid sulphate soils or a contaminated site a preliminary investigation is required, and the results are to be provided with the Form 1 application.	<input type="checkbox"/>	<input type="checkbox"/>
Detail of proposed construction methodologies.	<input type="checkbox"/>	
Larger developments should also include the following detail where relevant:		
Photo montages showing the development in relation to the river and foreshore landscape.	<input type="checkbox"/>	<input type="checkbox"/>
Information on the impacts of parking, noise and traffic generated by the proposal.	<input type="checkbox"/>	<input type="checkbox"/>
Details of stormwater management incorporating water sensitive urban design principles.	<input type="checkbox"/>	<input type="checkbox"/>
Details of any dewatering proposed during construction including the expected volumes, water quality, method of disposal and sampling regimes in accordance with Corporate Policy 50.	<input type="checkbox"/>	<input type="checkbox"/>
Any specialist studies and/or management plans required to support the application such as traffic, heritage, environmental, engineering, landscaping or urban design studies.	<input type="checkbox"/>	<input type="checkbox"/>

Application submission

In person to:

Department of Biodiversity, Conservation
and Attractions
17 Dick Perry Avenue
Technology Park, Western Precinct
KENSINGTON WA 6151

Email Rivers.planning@dbca.wa.gov.au

By post to:

Statutory Assessments
Rivers and Estuaries Branch
Department of Biodiversity, Conservations and
Attractions
Locked Bag 104
BENTLEY DC WA 6983

Telephone enquiries 9219 9000



Department of Biodiversity,
Conservation and Attractions



Form 1 – Application for Approval of Development

Swan and Canning Rivers Management Act 2006 – Part 5 – section 72(1)

1. Applicant – the applicant is required to sign the form at item No. 8

The applicant is the person with whom the Chief Executive Officer will correspond, unless an authorised agent has been appointed to act on behalf of the applicant, in which case correspondence will be sent direct to the agent.

Name of Applicant	National Trust Western Australia				
Name of Company (if applicable)	National Trust Western Australia				
Contact person	Caroline Stokes				
Postal address	PO Box 1162				
Town/Suburb	West Perth			Postcode	6005
Telephone	Work	9321 6088	Home		Mobile 0407 688611
Facsimile					
Email	Caroline.Stokes@ntwa.com.au				

2. Landowner(s) – landowners are required to sign the form at item No. 8

All owner(s) of the land **must sign this application**. Where land is owned by the Crown, or has a management order granted to a local government or other agency, this application must be signed by the relevant landowner as required under section 72(5)(a) of the Act. If there are more than 2 landowners, please provide the additional information on a separate page.

Details of 1st landowner

Full name	National Trust Western Australia				
Company/agency (if applicable)	National Trust Western Australia				
Position & ACN/ABN (if applicable)	Position		ACN/ABN No.	ABN 83697381616	
Postal address	PO Box 1162				
Town/Suburb	West Perth	State	WA	Postcode	6005

Details of 2nd landowner (if applicable)

Full name	State Lands Western Australia <i>of</i>				
Company/agency (if applicable)	State Lands Western Australia <i>C. Stokes</i>				
Position & ACN/ABN (if applicable)	Position	Robyn Corbett Project Officer	ACN/ABN No.		
Postal address	<i>140</i> 110 William St <i>C. Stokes</i>				
Town/Suburb	Perth	State	WA	Postcode	6000



Department of Biodiversity,
Conservation and Attractions



Form 1 – Application for Approval of Development
Swan and Canning Rivers Management Act 2006 – Part 5 – section 72(1)

3. Appointment of an authorised agent – authorised agent is required to sign the form at item No. 8

Where the applicant has appointed an authorised agent to act on their behalf, the authorised agent must attach the written authority to this application.

Have you appointed an authorised agent to act on your behalf?

YES



NO



Details of authorised agent

Full name					
Company/agency (if applicable)					
Position in company/agency (if applicable)					
ACN/ABN (if applicable) /Telephone					
Postal address					
Town/Suburb					

6005

4. Certificate(s) of title information

Certificate of title	Volume	LR3087	Folio	640
	Diagram/plan/deposit plan no.		Deposit plan 217904	
Lot No. and location of subject lot	Lot No. (whole/part)		11547	
	Location			
Reserve No. (if applicable)	35112			
Street No. and name	Near Johnson Rd			
Town/Suburb	Maylands			
Nearest road intersection	Near Johnson Rd and Peninsula Rd			

5. River reserve lease (Swan and Canning Rivers Management Act 2006 - section 29)

If you intend to apply for a lease in relation to this proposed development, you will need to complete a separate Form – Application for a River reserve lease – and lodge it concurrently with this application. Note: River reserve leases will not be granted for developments requiring approval under section 70 of the Act – to which the proposed lease relates – unless that approval has been granted.

Does the development require a River reserve lease?

YES



NO



If the development requires a River reserve lease, please tick the appropriate box below.

New lease	
Renewal of a lease	
Modification of an existing lease (ie. change in area or purpose etc.)	



Department of Biodiversity,
Conservation and Attractions



Form 1 – Application for Approval of Development
Swan and Canning Rivers Management Act 2006 – Part 5 – section 72(1)

6. River reserve licence (Swan and Canning Rivers Management Act 2006 - section 32)

If you intend to apply for a licence in relation to this proposed development, you will need to complete a separate Form – Application for a River reserve licence – and lodge it concurrently with this application, e.g. charter vessel operation, kayak, canoe tours, etc. Refer to the Licence Application Guidelines on how to apply for a River reserve licence.

Does the proposed development involve an activity in the River reserve that will require a River reserve licence?

YES NO

If the development requires a River reserve licence, please tick the appropriate box below.

New licence	<input type="checkbox"/>
Renewal of a licence	<input type="checkbox"/>

Modification of an existing licence (ie. change in area, purpose, etc.)

7. Details of proposed development

Please provide a written description of the proposed development (refer to the Development Application Guidelines for further details on what information to include in this section).

Estimated cost of development	\$200,000
Current use of land	Please describe below what the land is currently used for. <u>Education, House museum and tea rooms, community events such as Carols by Candlelight</u>
Proposed development	Please provide a detailed written description below of the proposed use and development. If there is insufficient space, please provide the required information as an attachment to this application form <u>This application is to convert the freestanding rendered brick and galvanised iron roof store room into National Trust toilets for use by Trust volunteers, staff, visitors, school children and for community events such as Carols by Candlelight. The development application is also for Conservation works to the Main House. The scope of works is described on drawings. It includes removing accretions such as a male and female toilet, external laundry fixtures and the balustrade on the south verandah, as well as masonry conservation repairs to the external walls, and joinery and timber like for like maintenance repairs. We refer you to the Heritage Impact Statement for further details of the proposed development.</u>



Department of Biodiversity,
Conservation and Attractions



Form 1 – Application for Approval of Development
Swan and Canning Rivers Management Act 2006 – Part 5 – section 72(1)

8. Signatures

Signed by Applicant

Applicant signature		
Date 20.6.2022		
Print name and position (if signing on behalf of a company or agency)	Name	
	Position	

Signed by Landowner/s (if the landowner is not the applicant)

I consent to this application being made.		
Landowner signature		
Landowner signature		
Date 20.6.2022		
Print name and position (if signing on behalf of a company or agency)	Name	
	Position	

Signed by Authorised Agent (if you are acting for the applicant)

I have attached a copy of the written authorisation for me to act on behalf of the applicant to this application.		
Authorised Agent signature		
Date		
Print name and position (if signing on behalf of a company or agency)	Name:	
	Position:	